

Definitive Subdivision Plan

PONDVIEW DRIVE

Easterly of Orchard Road

East Longmeadow, MA

AS PREPARED FOR

Joseph Chapdelaine & Sons, Inc.

87 Shaker Road
East Longmeadow, MA 01028

Dial Before You Dig

Gas, electric, telephone and cable television companies have underground pipes and cables in places you'd least expect.

So it's a good idea for anyone who does any excavating to check beforehand to make sure there is no danger of damaging these facilities.

In fact, state laws in Massachusetts, New Hampshire, Rhode Island and Vermont make it mandatory for anyone doing excavating work to notify utility companies well ahead of time. (Rhode Island and Vermont require 48 hours prior notice and the other two states require 72 hours.)

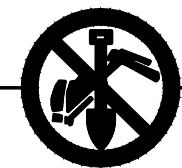
The utility companies have simplified this notification process by providing a toll-free number. One call to this "Dig Safe" line satisfies the law and enables all of the utilities to receive the information. In Massachusetts, the number is 1-888-344-7233.

In Maine, New Hampshire, Vermont and Rhode Island, the number is 1-888-344-7233.

If there are underground facilities in your area, the utility company will identify their location for you. This will eliminate the possibility of damage and save you the expense of costly repairs.

So be on the safe side and dial before you start to dig.

DIGSAFE



SITE INFORMATION

LOT INFORMATION	
ZONE	RESIDENCE A
PARCEL AREA TO BE SUBDIVIDED	17.126 ACRES ±
PROJECT INFORMATION	
MINIMUM LOT SIZE	25,000 SQ. FT.
TOTAL NUMBER OF LOTS	11 LOTS
APPROXIMATE STREET LENGTH	850 FEET ±

DRAWING INDEX

SHEET NO.	SHEET NAME	ISSUE DATE	REVISION DATE
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P-1	DEFINITIVE SUBDIVISION PLAN	9/30/13	11/22/13
EX-1	EXISTING CONDITIONS & SITE PREP PLAN (Northerly Section)	9/30/13	
EX-2	EXISTING CONDITIONS & SITE PREP PLAN (Southerly Section)	9/30/13	11/22/13
C-1	NOTES, SYMBOL & LINE LEGEND AND ABBREVIATIONS	9/30/13	
C-2	CONSTRUCTION NOTES	9/30/13	
C-3	SITE GRADING & TREE PLANTING PLAN	9/30/13	11/22/13
C-4	PLAN & PROFILE - Pondview Drive	9/30/13	11/22/13
C-5	PLAN & PROFILE - Sanitary Sewer (Easement & Orchard Rd)	9/30/13	
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D-2	DETAILS & SPECIFICATIONS	9/30/13	
D-3	DETAILS & SPECIFICATIONS	9/30/13	
D-4	DETAILS & SPECIFICATIONS	9/30/13	



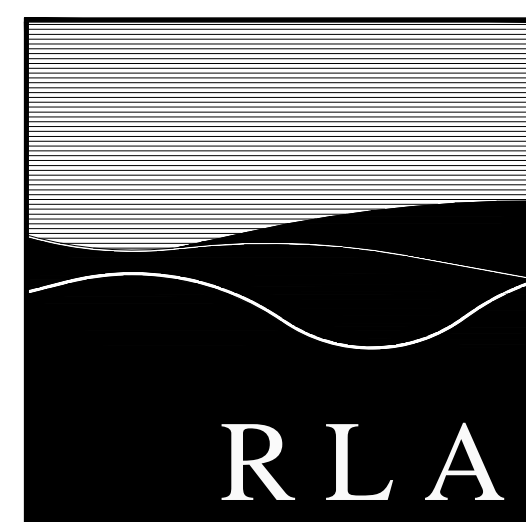
SOURCE: East Longmeadow GIS



September 30, 2013

Revised: 11/22/13

BY



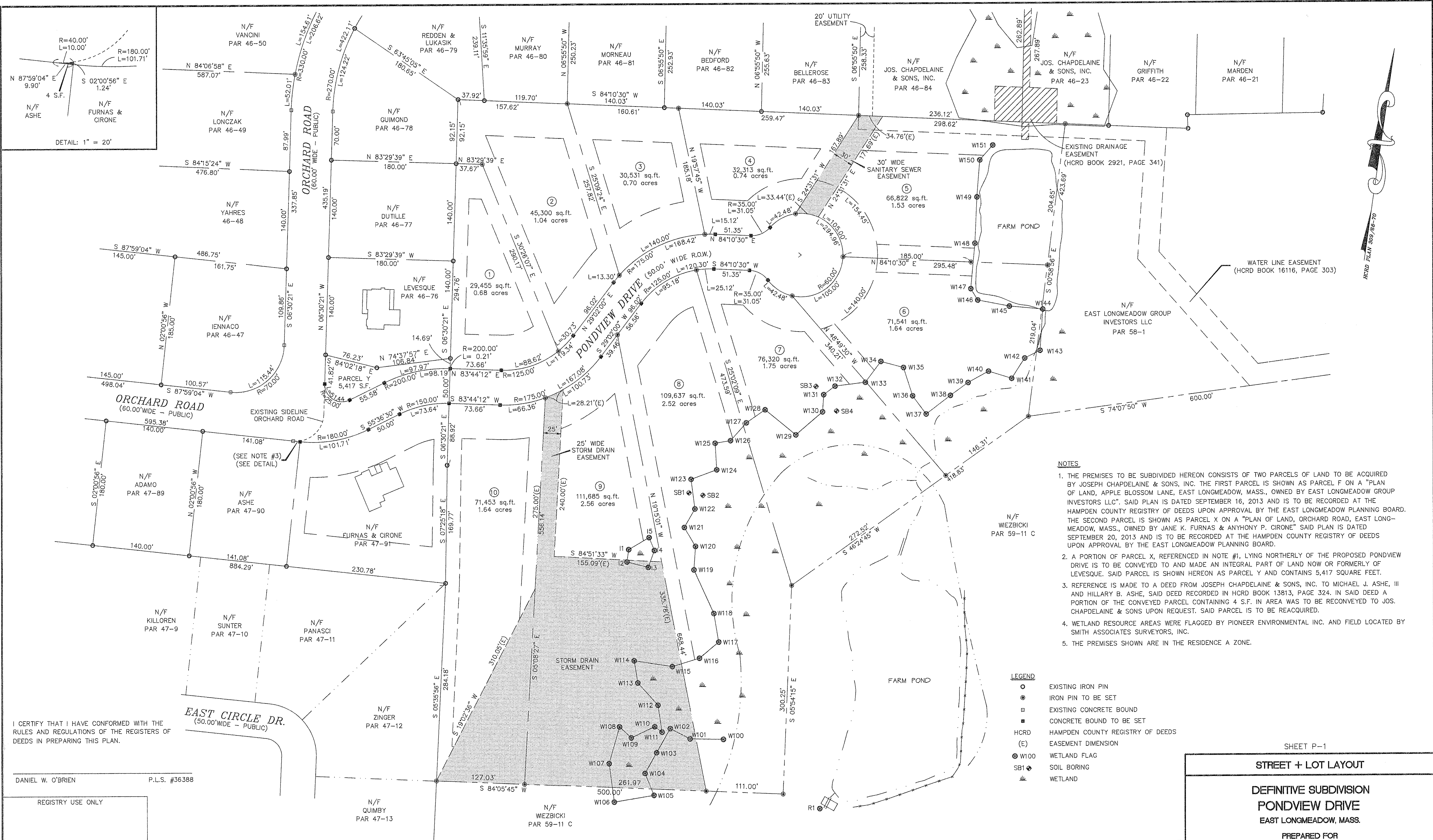
RLA
R LEVESQUE ASSOCIATES, INC
Land Surveying, Site Design,
Landscape Architecture, Planning
Environmental Permitting
ph: 413.568.0985 fax: 413.568.0986

40 School Street · P.O. Box 640
Westfield, MA 01086
rlaland.com

PERMITTING

RLA Project Number: 130501

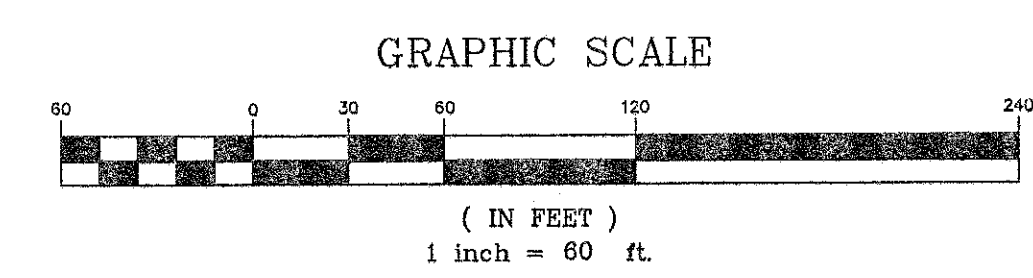
Names of Planning Board Members	Action Taken	Date
	Application Filed	
	Preliminary Plan Filed	
	Definitive Plan Filed	
	Public Hearing	
	Approval of Board of Health	
	Plan Approved	
	Plan Endorsed	
	Easements Filed	
	Covenant Filed	
	Recorded in Registry	



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

DANIEL W. O'BRIEN P.L.S. #36388

REGISTRY USE ONLY



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/22/13	TRIM BLDG SETBACK LINES	DWO
TOWN CLERK - EAST LONGMEADOW, MASS.			

DATE: _____

I HEREBY CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN.

EAST LONGMEADOW PLANNING BOARD

APPLICATION FILED:	_____
HEARING DATE:	_____
BD. OF HEALTH APPROVAL:	_____
PLAN APPROVED:	_____
PLAN ENDORSED:	_____

- NOTES**
- THE PREMISES TO BE SUBDIVIDED HEREON CONSISTS OF TWO PARCELS OF LAND TO BE ACQUIRED BY JOSEPH CHAPDELAIN & SONS, INC. THE FIRST PARCEL IS SHOWN AS PARCEL F ON A "PLAN OF LAND, APPLE BLOSSOM LANE, EAST LONGMEADOW, MASS., OWNED BY EAST LONGMEADOW GROUP INVESTORS LLC". SAID PLAN IS DATED SEPTEMBER 16, 2013 AND IS TO BE RECORDED AT THE HAMPDEN COUNTY REGISTRY OF DEEDS UPON APPROVAL BY THE EAST LONGMEADOW PLANNING BOARD. THE SECOND PARCEL IS SHOWN AS PARCEL X ON A "PLAN OF LAND, ORCHARD ROAD, EAST LONGMEADOW, MASS., OWNED BY JANE K. FURNAS & ANYHONY P. CIRONE" SAID PLAN IS DATED SEPTEMBER 20, 2013 AND IS TO BE RECORDED AT THE HAMPDEN COUNTY REGISTRY OF DEEDS UPON APPROVAL BY THE EAST LONGMEADOW PLANNING BOARD.
 - A PORTION OF PARCEL X, REFERENCED IN NOTE #1, LYING NORTHERLY OF THE PROPOSED PONDVIEW DRIVE IS TO BE CONVEYED TO AND MADE AN INTEGRAL PART OF LAND NOW OR FORMERLY OF LEVESQUE. SAID PARCEL IS SHOWN HEREON AS PARCEL Y AND CONTAINS 5,417 SQUARE FEET.
 - REFERENCE IS MADE TO A DEED FROM JOSEPH CHAPDELAIN & SONS, INC. TO MICHAEL J. ASHE, III AND HILLARY B. ASHE, SAID DEED RECORDED IN HCRD BOOK 13813, PAGE 324. IN SAID DEED A PORTION OF THE CONVEYED PARCEL CONTAINING 4 S.F. IN AREA WAS TO BE RECONVEYED TO JOS. CHAPDELAIN & SONS UPON REQUEST. SAID PARCEL IS TO BE REACQUIRED.
 - WETLAND RESOURCE AREAS WERE FLAGGED BY PIONEER ENVIRONMENTAL INC. AND FIELD LOCATED BY SMITH ASSOCIATES SURVEYORS, INC.
 - THE PREMISES SHOWN ARE IN THE RESIDENCE A ZONE.

- LEGEND**
- EXISTING IRON PIN
 - IRON PIN TO BE SET
 - EXISTING CONCRETE BOUND
 - CONCRETE BOUND TO BE SET
 - HCRD
 - (E) EASEMENT DIMENSION
 - W100 WETLAND FLAG
 - SB1 SOIL BORING
 - WETLAND

SHEET P-1

STREET + LOT LAYOUT

DEFINITIVE SUBDIVISION

PONDVIEW DRIVE

EAST LONGMEADOW, MASS.

PREPARED FOR

JOSEPH CHAPDELAIN + SONS, INC.

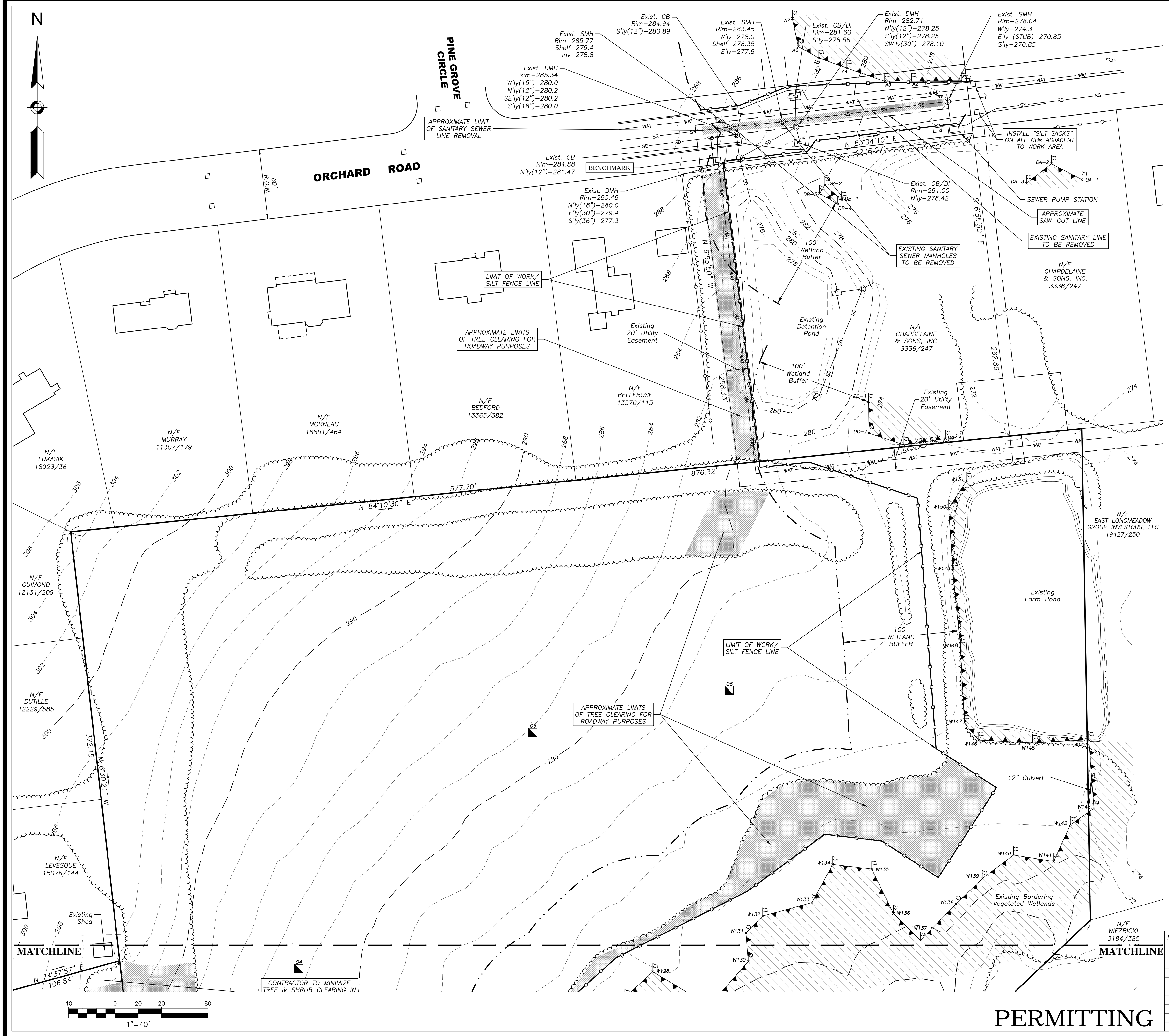
87 SHAKER ROAD EAST LONGMEADOW, MA 01028

SCALE: 1" = 60' DATE: SEPTEMBER 30, 2013

SMITH ASSOCIATES

SURVEYORS, INC.

46B BALDWIN STREET EAST LONGMEADOW, MA 01028

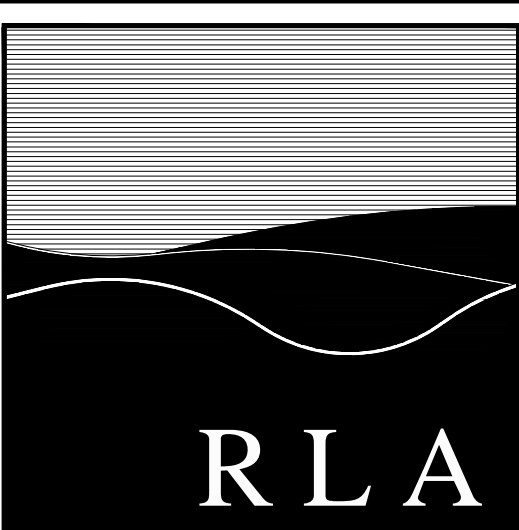


- NOTES**
1. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON SURFACE FEATURES AS LOCATED BY SURVEY AND AVAILABLE RECORD DATA AND ARE APPROXIMATE. ACTUAL FIELD LOCATIONS SHOULD BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO CONSTRUCTION.
 2. TOTAL LAND AREA TO BE SUBDIVIDED IS APPROXIMATELY 17.126 ACRES.
 3. PARCEL IS ZONED RESIDENCE 'A' ACCORDING TO THE TOWN OF EAST LONGMEADOW ZONING MAP.
 4. TOTAL NUMBER OF LOTS SHOWN ON PLAN - 10 LOTS.
 5. APPROXIMATE LENGTH OF PONDVIEW DRIVE - 850 FEET.
 6. WETLANDS DELINEATED BY PIONEER ENVIRONMENTAL, INC.
 7. EXISTING TOPOGRAPHY TAKEN FROM AERIAL PHOTOGRAMMETRIC SURVEY BY COL-EAST, INC. AND SUPPLEMENTED WITH AN ON-GROUND SURVEY PERFORMED BY SMITH ASSOCIATES SURVEYORS, INC.

- CONSTRUCTION NOTES**
1. ALL LAYOUT WORK REQUIRED SHALL BE PERFORMED BY A LICENSED SURVEYOR OR ENGINEER EMPLOYED BY THE CONTRACTOR
 2. CONTRACTOR TO NOTIFY DIG SAFE A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION ACCORDING TO MA GENERAL LAWS.
 3. APPROVED PLANS TO BE ON SITE AT ALL TIMES.
 4. CHANGES TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES TO BE APPROVED BY DESIGN ENGINEER, FIELD INSPECTOR AND TOWN ENGINEER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND SAFETY OF TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
 6. CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS, AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
 7. TREES, BRUSH AND STUMPS REMOVED BY CLEARING AND GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
 8. CALCIUM CHLORIDE/WATER FOR DUST CONTROL TO BE AVAILABLE AT ALL TIMES.
 9. ALL PAVEMENT MARKINGS CHANGED, ALTERED OR REMOVED SHALL BE REAPPLIED.
 10. ALL CONSTRUCTION METHODS TO CONFORM TO TOWN OF EAST LONGMEADOW PLANNING BOARD REGULATIONS AND BOARD OF PUBLIC WORKS SPECIFICATIONS.
 11. EAST LONGMEADOW BOARD OF PUBLIC WORKS APPROVAL IS NOT TO BE CONSTRUED AS AN ALL INCLUSIVE APPROVAL AS OTHER APPROVALS MAY BE NECESSARY, I.E. TOWN ENGINEER, CONSERVATION, FIRE DEPARTMENT, WATER DEPARTMENT, ETC.
 12. ALL CATCH BASINS TO HAVE 48" SEALED SUMPS AND HOODS.
 13. EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO START OF CONSTRUCTION.

- BENCHMARKS**
- NORTHWEST CORNER OF METAL FRAMED WATER METER PIT LOCATED ON THE SOUTHERLY SIDE OF ORCHARD ROAD APPROXIMATELY 215' EASTERLY OF INTERSECTION WITH PINE GROVE CIRCLE, INLINE WITH 20' UTILITY EASEMENT. ELEVATION = 286.65
 - TOP OF IRON PIN LOCATED ON EASTERLY SIDE OF ORCHARD ROAD AT THE SOUTHWEST CORNER OF LOT FOR HOUSE #123 ORCHARD ROAD. ELEVATION = 298.38

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RLA

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Land Surveying, Site Design,
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ph: 413.568.0985 fax: 413.568.0986

40 School Street · P.O. Box 640
Westfield, MA 01086

rlaland.com

**EXISTING CONDITIONS
& SITE PREPARATION PLAN**
(Northerly Section)

Pondview Drive
Easterly of Orchard Road
East Longmeadow, MA

PREPARED FOR:

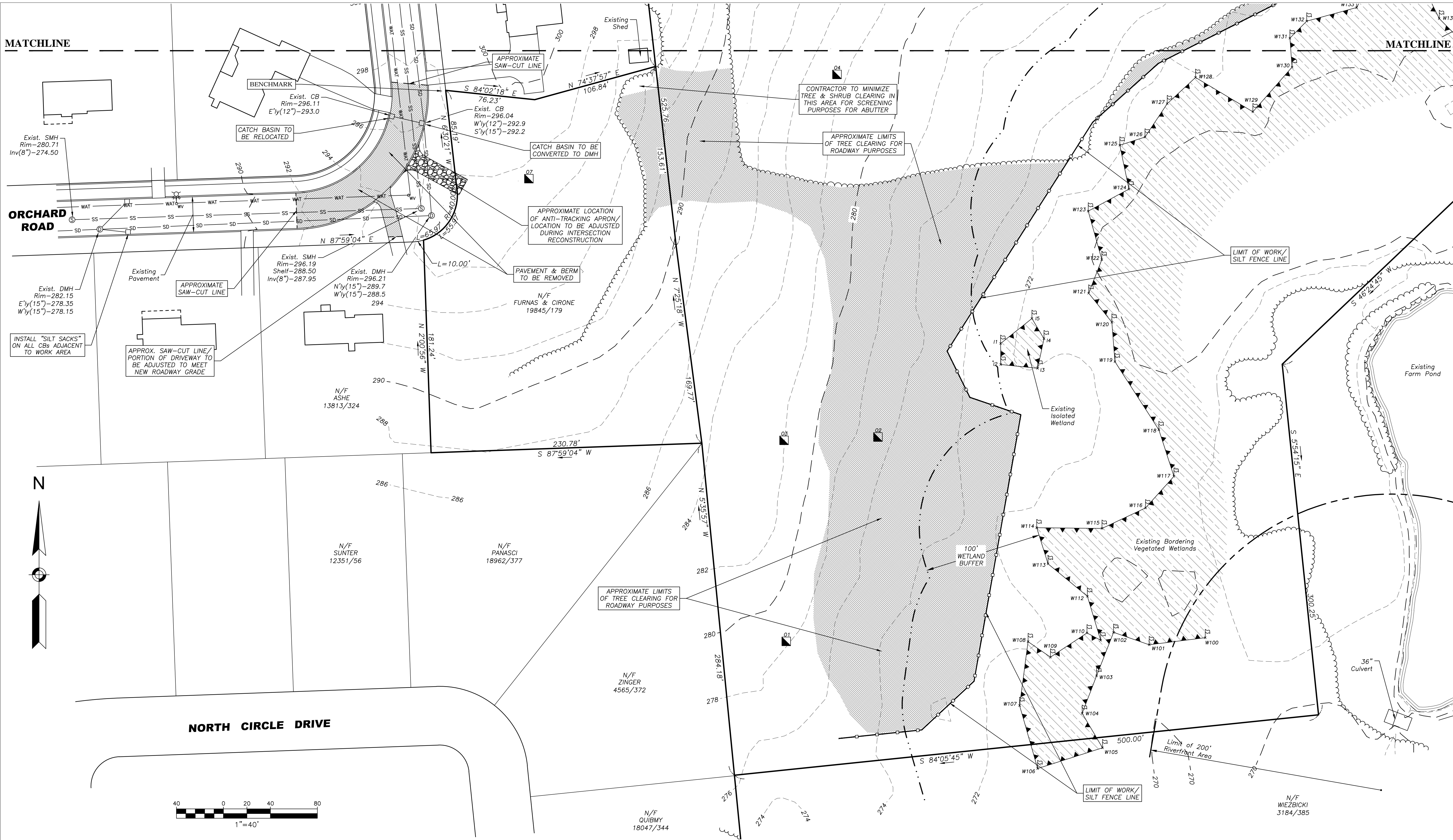
Joseph Chapdelaine
& Sons, Inc.
87 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE: September 30, 2013	
REVISIONS:	DATE:

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SCALE: 1" = 40'	
RLA PROJECT NUMBER: 130501	
DRAWING#	REV.
EX-1	0

PERMITTING



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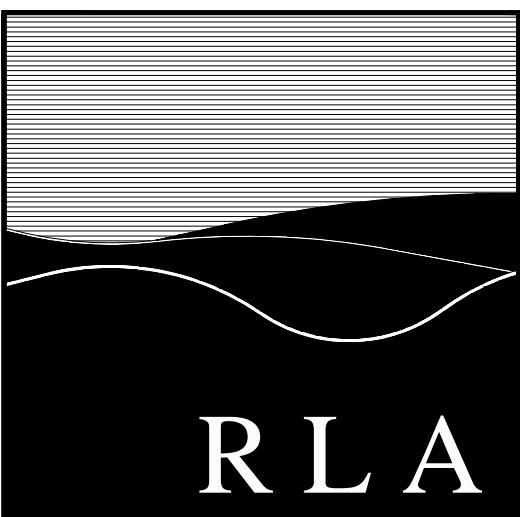
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& SITE PREPARATION PLAN**
(Southernly Section)

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Easterly of Orchard Road
East Longmeadow, MA














































PREPARED FOR:	
Joseph Chapdelaine & Sons, Inc. 87 Shaker Road East Longmeadow, MA 01028	
ISSUANCE DATE: September 30, 2013	
REVISIONS:	DATE:
Planning Board review	11/22/13

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SCALE:
1" = 40'

RLA PROJECT NUMBER:
130501

DRAWING#	REV.
EX-2	0

SYMBOL & LINE LEGEND	
	IRON PIPE FOUND
	IRON PIPE TO BE SET
	CONCRETE BOUND FOUND
	CONCRETE BOUND TO BE SET
	COMPUTED POINT
	EXISTING SIGN
	EXISTING MONITORING WELL
	EXISTING LIGHT POLE
	UTILITY POLE
	GUY ANCHOR
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WELL LOCATION
	EXISTING WATER VALVE
	EXISTING WATER SHUT-OFF
	EXISTING HYDRANT
	PROPOSED WATER VAVLE
	PROPOSED HYDRANT
	EXISTING GAS VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	SOIL BORING LOCATION
	PERC TEST LOCATION
	WETLAND FLAG LOCATION
	M.A.H.W. FLAG LOCATION
	WETLAND
	EXISTING STONE WALL
	TREE LINE
	EXISTING SPOT GRADE
	EXISTING CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED CONTOUR
	EDGE OF FLAGGED WETLANDS
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER
	LIMIT OF WORK LINE
	DOUBLE EROSION CONTROL BARRIER

ABBREVIATIONS	
A.F.F.	— ABOVE FINISHED FLOOR
A.F.S.	— ABOVE FINISHED SLAB
APPROX.	— APPROXIMATE
A.T.F.	— ABOVE TOP OF FOUNDATION
BLDG.	— BUILDING
BLK.	— BLOCK
BOT.	— BOTTOM
B.O.W.	— BOTTOM OF WALL
BRG.	— BEARING
CB.	— CATCH BASIN
CL	— CENTERLINE
C.I.	— CAST IRON
CLR.	— CLEAR
CONC.	— CONCRETE
CONT.	— CONTINUOUS
CONTR.	— CONTRACTOR
DBL.	— DOUBLE
DET.	— DETAIL
D.I.	— DUCTILE IRON
DIA.	— DIAMETER
DIM.	— DIMENSION
DT'L.	— DETAIL
DWG.	— DRAWING
EA.	— EACH
ELEC.	— ELECTRIC
ELEV.	— ELEVATION
EXIST.	— EXISTING
EXT.	— EXTERIOR
FIN.	— FINISH
FLR.	— FLOOR
FOUND.	— FOUNDATION
FT.	— FOOT OR FEET
INSTL.	— INSTALLED
LT.	— LIGHT
MAX.	— MAXIMUM
M.A.H.W.	— MEAN ANNUAL HIGH WATER
MH.	— MANHOLE
MIN.	— MINIMUM
MISC.	— MISCELLANEOUS
N.T.S.	— NOT TO SCALE
O.A.	— OVERALL
O.C.	— ON CENTER
P.S.I.	— POUNDS PER SQUARE INCH
REINF.	— REINFORCING
R.H.	— RIGHT HAND
SHT.	— SHEET
SPEC.	— SPECIAL OR SPECIFICATIONS
SQ.	— SQUARE
ST.	— STEEL
STA.	— STATION
T.O.F.	— TOP OF FOUNDATION
T.O.W.	— TOP OF WALL
T.S.	— TOP OF STEEL
TYP.	— TYPICAL
W/	— WITH
WTR.	— WATER
W.W.M.	— WELDED WIRE MESH

EROSION & SEDIMENT CONTROL NOTES

MANAGEMENT STRATEGIES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
- CONSTRUCTION SEQUENCE SHALL BE PHASED TO AVOID LEAVING LARGE AREAS EXPOSED FOR LONG PERIODS OF TIME.
- TEMPORARY SEED AND MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING.
- SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED CONTINUOUSLY, ESPECIALLY FOLLOWING STORM EVENTS TO LOCATE FAILING CONTROL MEASURES AND CONDUCT ROUTINE MAINTENANCE OPERATIONS.
- THE CONSTRUCTION SUPERINTENDENT SHALL INFORM ALL ON-SITE WORKERS OF THE SEDIMENTATION CONTROL PROGRAM.

VEGETATIVE CONTROL PRACTICES

- TOPSOIL STOCKPILING: TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE DISTURBED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE APPROVED BY THE OWNER AND ENGINEER/LANDSCAPE ARCHITECT AND BE WITHIN LIMIT OF WORK.
- TEMPORARY SEEDING: THE TEMPORARY SEDIMENT BASIN, TOPSOIL STOCKPILE AND ROUGH GRADED AREAS SHALL BE SEEDD WITH WINTER RYE AT A RATE OF 30 LBS. PER ACRE ANY SOILS THAT ARE LEFT EXPOSED AND UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDD.
 - SITE PREPARATION
 - COMPLETE ALL ROUGH GRADING ACTIVITIES
 - REMOVE ALL ROCKS AND DEBRIS LARGER THAN 3" IN DIAMETER FROM AREAS TO BE TEMPORARILY SEEDD. —EVENLY APPLY LIME TO ACHIEVE A PH VALUE OF 6.0.
 - EVENLY APPLY 14 LBS. OF 5-10-10 ANALYSIS FERTILIZER TO A DEPTH OF 4" USING SUITABLE EQUIPMENT.
 - SEEDBED IS TO BE LEFT IN FIRM AND SMOOTH CONDITION.
 - THE LAST TILLAGE OPERATION SHALL BE PERFORMED ACROSS THE SLOPE.
 - ESTABLISHMENT
 - EVENLY APPLY SEED IN ACCORDANCE WITH THE SPECIES AND RATE INDICATED ABOVE BY MEANS OF BROADCASTING OR HYDROSEEDING.
 - UNLESS HYDROSEEDD, COVER SEED WITH 1/4" TO 1/2" OF TOPSOIL
 - APPLY MULCH OR EROSION CONTROL BLANKET IMMEDIATELY FOLLOWING SEEDING.
 - VERIFY SEEDING DATES WITH ENGINEER/LANDSCAPE ARCHITECT. IF ENGINEER/LANDSCAPE ARCHITECT DETERMINES THAT SEED CANNOT BE APPLIED DUE TO CLIMATE, TOPSOIL SHALL NOT BE SPREAD AND MULCHING SHALL BE APPLIED TO THE EXPOSED SURFACE TO STABILIZE SOILS UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
 - PERMANENT SEEDING SHALL BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 30. TEMPORARY SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS OUTSIDE THIS TIME FRAME, UPON APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
 - MAINTENANCE
 - ALL SEEDD/MULCHED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.

NONSTRUCTURAL CONTROL PRACTICES

- SCARIFICATION: EXPOSED SLOPES EXCEEDING 4:1 SHALL BE SCARIFIED AT RIGHT ANGLES TO THE SLOPE. PROVIDE PERIODIC UPGRADING OF SERRATIONS DURING EXPOSED PERIOD UNTIL VEGETATION IS ESTABLISHED. PROVIDE VEGETATIVE COVER AS SOON AS POSSIBLE.
- STRAW MULCH: STRAW MULCH SHALL BE APPLIED IN CONJUNCTION WITH TEMPORARY/PERMANENT SEEDING AND TO GRADED AREAS WHICH REMAIN EXPOSED OUTSIDE OF RECOMMENDED SEEDING DATES. MULCH SHALL BE APPLIED AT 90 LBS. PER 1000 S.F. CONTRACTOR SHALL PERIODICALLY INSPECT AND REAPPLY AS NECESSARY, PARTICULARLY FOLLOWING SIGNIFICANT STORM EVENTS.
- TOPSOIL: DISTURBED AREAS SHALL BE TOPSOILED PRIOR TO SEED APPLICATION. APPLICATION STANDARDS:
 - REMOVE ALL ROCKS AND DEBRIS OVER 1"—1 1/2" IN DIAMETER.
 - SCARIFY SURFACE PRIOR TO SEED APPLICATION.
 - APPLY 6" DEPTH OF TOPSOIL.
- SILT FENCE: SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE, AT CULVERT OUTLET LOCATIONS, OR AS INDICATED ON THE DRAWINGS. SILT FENCE SHALL BE INSPECTED AND REPAIRED ROUTINELY, ESPECIALLY FOLLOWING STORM EVENTS UNTIL THE SITE HAS BEEN STABILIZED (COVER > 70%) BY VEGETATION.

STRUCTURAL CONTROL PRACTICES

- RIP-RAP OUTLET PROTECTION: RIP-RAP SHALL BE PROVIDED AT ALL PIPE OUTLETS TO THE WETLAND. MATERIAL SHALL BE HARD, DURABLE FIELD OR QUARRY STONE WHICH IS ANGULAR AND RESISTS BREAKING DOWN WHEN EXPOSED TO WATER OR WEATHERING.
- CONSTRUCTION ENTRANCE: CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS.
- DUST CONTROL: A WATER TRUCK SHOULD BE LOCATED ON-SITE FOR DUST CONTROL WHILE WORK IS PROCEEDING. MAINTENANCE SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE FOLLOWING ITEMS SHALL BE CHECKED IN PARTICULAR:
 - RIP-RAP OUTLET PROTECTION SHALL BE CHECKED REGULARLY FOR SEDIMENT ACCUMULATION. IF SIGNIFICANT AMOUNTS OF SEDIMENT ACCUMULATE, RIP-RAP SHALL BE REMOVED AND REPLACED.
 - SILT FENCING SHALL BE INSPECTED REGULARLY FOR UNDERMINING AND DETERIORATION. REMOVE SEDIMENT FROM BEHIND FENCE WHEN IT BECOMES 6 INCHES DEEP.
 - SEEDD/MULCHED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.

SILT FENCE INSTALLATION NOTES

- THIS SEDIMENT BARRIER UTILIZES MIRAFI ENVROFENCE (100X) OR EQUAL. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.
- THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES (HIGHER BARRIERS MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE). IDEALLY THE FILTER FENCE SHALL BE PLACED 10 FEET AWAY FROM THE TOE OF SLOPE.
- WHEN JOINTS ARE NECESSARY, FILTER FABRICS SHALL BE SPICED TOGETHER ONLY AT A SUPPORT STAKES WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATION.
- STAKES SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). IN APPLICATIONS WHERE HEAVY FLOWS ARE EXPECTED SUCH AS IN-STREAM INSTALLATIONS STAKE SPACING SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND/OR THE ENVIRONMENTAL PROFESSIONALS RECOMMENDATIONS.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF STAKES AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE PRE ASSEMBLED SILT FENCE SYSTEM SHALL BE UNROLLED, POSITION THE STAKES ON THE DOWNHILL SIDE OF THE TRENCH AND HAMMER THE STAKES AT LEAST 12 INCHES INTO THE GROUND.
- THE BOTTOM SIX (6) INCHES OF THE FABRIC SHALL BE LAID INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUNOFF.
- BACKFILL THE TRENCH OVER THE FILTER FABRIC AND COMPACT SUFFICIENTLY TO PREVENT THE RUNOFF FROM ERODING THE BACKFILL.
- THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES OR SUPPORTS OTHER THAN THE STANDARD STAKES.
- INSTALLED SILT FENCE BARRIERS SHALL BE MAINTAINED ON A REGULAR SCHEDULE WHICH MAY BE PRESCRIBED BY THE LOCAL, STATE OF FEDERAL REGULATORY AUTHORITY; BUT, AT MINIMUM SHALL BE CHECKED WEEKLY AS WELL AS AFTER EACH STORM EVENT. MAINTENANCE SHALL CONSIST OF AN INSPECTION OF THE ENTIRE LENGTH OF THE BARRIER TO DETERMINE IF IT IS FUNCTIONING AS INTENDED. ALL BREAKS, DETACHED FABRIC, SLUMPED FABRIC, CLOGGED FABRIC, AND UNDERMINED AREAS SHALL BE FIXED THE DAY THAT THEY ARE DISCOVERED.
- WHEN A MAXIMUM OF SIX (6) INCHES OF SEDIMENT HAS ACCUMULATED BEHIND THE SILT FENCE THIS SEDIMENT SHALL BE REMOVED AND THE FENCE SHALL BE INSPECTED FOR TEARS, CLOGGING OF BREAKS. ALL DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY EITHER BY REPAIR OF REPLACEMENT OF THE SILT FENCE BARRIER AND/OR STAKES AS NEEDED.
- SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN CLEANED OF SILT AND PERMANENTLY STABILIZED.

HAY BALE INSTALLATION & MAINTENANCE (AS REQ'D)

- HAY BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
- ALL BALES SHALL BE EITHER WIRE BOUND OR STRING TIES. BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.
- THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR (4) INCHES AND A MAXIMUM DEPTH OF SIX (6) INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO FOUR (4) INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
- THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. (LOOSE STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY.)
- HAY BALES GENERALLY DETERIORATE IN 2-6 MONTHS AND THUS NEED REPLACEMENT.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

DEMO NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- CONTRACTOR SHALL ERECT AND MAINTAIN SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM FROM DAMAGE DURING DEMOLITION OPERATIONS.
- DO NOT DAMAGE EXISTING UTILITIES TO REMAIN WITHIN PROJECT AREA. ALL DAMAGE TO EXISTING UTILITIES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE UTILITY OWNER.
- CONTRACTOR SHALL PROMPTLY TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND LEGALLY DISPOSED OF. DO NOT ALLOW DEMOLISHED MATERIAL TO COLLECT ON SITE. CONTRACTOR SHALL PAY ANY DUMPING FEES.
- THERE SHALL BE NO BURNING OF DEMOLISHED MATERIAL ALLOWED ON SITE.
- CONTRACTOR SHALL COORDINATE WITH OWNER FOR ANY ITEMS TO BE TURNED OVER TO OWNER.
- DEMOLISH AND REMOVE ALL PAVEMENT, SLABS, FOOTINGS, SUBSURFACE ELEMENTS, MISCELLANEOUS DEBRIS, ETC. WITHIN PROPERTY LINES UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST SO THAT DUST DOES NOT CREATE A NUISANCE ON ADJACENT ROADS OR PROPERTIES. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING AND CATCH BASIN CLEANING AFTER EACH PHASE OF CONSTRUCTION AND AS NEEDED IS DETERMINED BY THE LANDSCAPE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY ABANDONED SUBSURFACE SOIL ABSORPTION SYSTEM (SAS) AND MISCELLANEOUS DEBRIS.
- NO ACTIVITY OTHER THAN NORMAL MAINTENANCE SHALL OCCUR OUTSIDE OF LIMIT OF WORK LINES AS SHOWN ON PLAN WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL NOTIFY DIG SAFE ☎ 1-888-344-7233 PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITY.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL VERIFY FINAL SELECTION OF PLANT MATERIALS WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- NO PLANT MATERIAL WILL BE ACCEPTED WHICH DISPLAYS MAJOR IRREGULARITIES OR DAMAGE. THE OWNER/LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNFIT.
- WARRANTEE: FOR A PERIOD OF TWO GROWING SEASONS FROM THE DATE THAT THE WORK UNDER THIS CONTRACT IS CERTIFIED AS SUBSTANTIALLY COMPLETE, THE CONTRACTOR SHALL: 1) WARRANTEE ALL PLANTS AND SEEDD AREAS UNDER THIS CONTRACT; 2)REMOVE AND REPLACE DURING THIS GUARANTEE PERIOD PLANTS WHICH DIE OR ARE IN POOR CONDITION AS DETERMINED BY THE OWNER; 3) REPLANT WITH STOCK OF SAME SIZE AND QUALITY AS ORIGINALLY SPECIFIED; 4) GUY AND MAINTAIN AS SPECIFIED HEREIN AT NO ADDITIONAL COST TO THE OWNER.
- ALL NEW LAWN AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES TOPSOIL OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF LAWNS. THESE AREAS SHALL BE SEEDD WITH A FINE BLADE LAWN GRASS SEED OR SODDED. ADDITIONAL OFF-SITE TOPSOIL MAY BE REQUIRED.
- ALL AREAS TO BE MULCHED SHALL RECEIVE 4 INCHES MINIMUM 100% SHREDDED BARK MULCH WITHIN 48 HOURS OF PLANTING UNLESS OTHERWISE NOTED IN PLANTING DETAILS.
- ALL TREE AND SHRUB PITS SHALL BE AT LEAST 2 FEET WIDER AND 1 FOOT DEEPER THAN THE TREE OR SHRUB ROOT BALL TO BE PLANTED IN IT. BACKFILL SHALL BE HIGH QUALITY LOAM OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF PLANT MATERIALS.
- ALL PLANTS SHALL BE NURSERY GROWN AND CONFORM TO THE LATEST EDITION OF "ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK".
- EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
- EACH PLANT TO BE IN THE TOP OF ITS SIZE CLASS AFTER SHEARING AND PRUNING.
- ADJACENT TO THE TOP OF ANY WALLS OVER 36" A FENCE OR WALL SHALL BE CONSTRUCTED PER PLAN THAT MEETS LOCAL BUILDING CODE AND ALL OTHER APPLICABLE STATE AND FEDERAL LAWS.
- SEE DETAIL SHEETS FOR ADDITIONAL DETAILS & SPECIFICATIONS.
- SHOULD GC OR ANY SUBCONTRACTOR ENCOUNTER A DISCREPANCE/CONFLICT IN THE PLAN AN THE ACTUAL LOCATION OF A SITE FEATURE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER IMMEDIATELY.
- ALL AREAS DISTURBED DURING CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED TO A MINIMUM DEPTH OF 4" AND SEEDD IN ACCORDANCE WITH THE FOLLOWING:
 - INCORPORATE GROUND LIMESTONE INTO ALL AREAS TO BE SEEDD AT A RAT OF 50 LBS/1,000 S.F.
 - APPLY 10-6-4 FERTILIZER TO ALL AREAS TO BE SEEDD AT A RATE OF 2 LBS/1,000 S.F.
 - THOROUGHLY INCORPORATE LIME AND FERTILIZER INTO SEED BED TO DEPTH OF 3" BY DISCING OR OTHER APPROVED METHOD.
 - SEED WITH THE FOLLOWING MIXTURE, APPLIED AT A RATE OF 10 LBS/1,000 S.F. SEED MIX:

NAME OF SEED	% BY WEIGHT IN MIXTURE	MIN. % PURITY	MIN. GERMINATION
POS. PRETENSES "BARON" BARON BLUEGRASS	50	90	75
FESTUCA RUBRA "PENNLAWN" PENNLAWN FESCUE	25	95	85
LOLIUM PERENNE "PENNFINE" PENNFINE	25	98	95

E. MULCH ALL SEEDD AREAS WITH STRAW AT A RATE OF 5 LBS/1,000 S.F.UNLESS HYDROSEEDING WAS USED.
F. ALL SLOPES OF 3:1 OR GREATER AFTER BEING LOAMED, SEEDD AND MULCHED IN ACCORDANCE WITH THE ABOVE SHALL SECURED WITH EROSION CONTROL BLANKETS (NO. AMERICAN GREEN S150 OR EQUAL). OVERLAP ALL NETTING JOINTS A MINIMUM OF 6" AND SECURE WITH DOUBLE ROW OF STAPLES.



R LEVESQUE ASSOCIATES, INC

Land Surveying, Site Design,
Landscape Architecture, Planning
Environmental Permitting

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NOTES, SYMBOL & LINE
LEGEND AND ABBREVIATIONS

Pondview Drive
Easterly of Orchard Road
East Longmeadow, MA

PREPARED FOR:

Joseph Chapdelaine
& Sons, Inc.
87 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE:

September 30, 2013

REVISIONS:	DATE:

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SCALE:

No Scale

RLA PROJECT NUMBER:

130501

DRAWING#	REV.
C-1	0

PERMITTING

Names of Planning Board Members	Action Taken	Date
	Application Filed	
	Preliminary Plan Filed	
	Definitive Plan Filed	
	Public Hearing	
	Approval of Board of Health	
	Plan Approved	
	Plan Endorsed	
	Easements Filed	
	Covenant Filed	
	Recorded in Registry	

GENERAL CONSTRUCTION NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY/TOWN REPRESENTATIVES, CONSULTING ENGINEER/LANDSCAPE ARCHITECT, UTILITY COMPANY REPRESENTATIVES, AND ANY OTHER AFFECTED PARTIES.
2. THE OWNER AND R LEVESQUE ASSOCIATES, INC. AND/OR THEIR REPRESENTATIVES, IN PREPARING THESE PLANS HAVE ATTEMPTED TO LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA. HOWEVER, THERE MAY BE UTILITIES THAT WERE NOT OR COULD NOT BE LOCATED. UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES FOR LOCATIONS OF THEIR UTILITIES AT LEAST 48 HOURS BEFORE COMMENCING EXCAVATION. IN THE EVENT THAT A UTILITY IS SITUATED SUCH THAT CONSTRUCTION CANNOT PROCEED AS SHOWN ON THE PLANS, THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES.
4. ALL FILL WORK REQUIRED TO BRING THE PROPOSED ROADWAY UP TO SUB-GRADE LEVEL SHALL CONFORM TO MHD SPECIFICATIONS SECTION 150 AND SECTION 159-19C, OF TOWN CODE.
5. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. ALL WORK IN THE TOWN RIGHT-OF-WAY AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN SPECIFICATIONS AND MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
7. THE CONTRACTOR SHALL GIVE THE CITY/TOWN A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
9. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CONDITIONS OF APPROVAL OUTLINED IN ALL STATE AND LOCAL PERMITS. COPIES OF THE CONDITIONS ARE INCLUDED WITHIN THE PROJECTS TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THIS INFORMATION PRIOR TO CONSTRUCTION AND CONFORMING TO THE CONDITIONS AS REQUIRED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. THE WORK AREAS ARE TO BE PICKED UP AT THE END OF EACH WORK DAY.
11. ANY TEMPORARY FACILITIES FOR THE STORAGE OR PROTECTION OF TOOLS, EQUIPMENT OR MATERIALS SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY.
12. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. NO EXTRAS DUE TO UNFAMILIARITY WITH THE EXISTING SITE OR WORKING CONDITIONS WILL BE ALLOWED.
13. CONTRACTOR SHALL BE REQUIRED TO PERFORM FINAL CLEANUP CONSISTING OF CLEANING THE PROPOSED DRAINAGE AND SEWER SYSTEMS OF ALL DEBRIS PRIOR TO THE ACCEPTANCE BY THE OWNER. ADDITIONALLY, THE PROPOSED ROADWAY SHALL BE CLEANED AND SWEEPED BY THE CONTRACTOR PRIOR TO ACCEPTANCE.
14. ALL EXCAVATION SHALL COMPLY WITH OSHA'S LATEST STANDARDS. ALL REQUIREMENTS OF OSHA'S EXCAVATION STANDARDS SHALL BE PROVIDED BY THE CONTRACTOR INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE MANAGER AND ANY REQUIRED DOCUMENTATION THAT MAY REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER. THE OWNER, THROUGH ITS ENGINEER, SHALL EXPRESSLY NOT PROVIDE ANY OF THE ABOVE REQUIREMENTS DESIGNATED BY OSHA'S EXCAVATION STANDARD.
15. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COST OF LAYING OUT ALL ITEMS OF THE WORK BASED ON CERTAIN HORIZONTAL CONTROL AND BENCHMARK SUPPLIED BY THE SURVEYOR OF RECORD. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
16. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, PERMITS AND APPURTENANCES NECESSARY TO PROVIDE A COMPLETE PROJECT AS INDICATED ON THE PLANS AND IN THESE SPECIFICATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH SITE EXAMINATION IN ORDER TO PREPARE SITE FOR CONSTRUCTION.
18. ANY AND ALL DEMOLISHED TREES, STRUCTURES AND OTHER RUBBLE MATERIAL PERTAINING TO THIS PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR OFF-SITE AT HIS EXPENSE IN ACCORDANCE WITH ALL OF THE CITY/TOWN ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL ENVIRONMENTAL REGULATIONS.
19. ALL PAVEMENT DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
20. ALL STREET EXCAVATIONS SHALL BE COMPLETELY CLOSED AT THE END OF EACH WORKING DAY BY BACKFILLING OR COVERING WITH STEEL PLATES.
21. ALL MATERIALS AND METHODS ARE TO COMPLY WITH THE CITY/TOWN DPW STANDARDS OR MASSACHUSETTS HIGHWAY (WHERE APPLICABLE), UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
22. PERMITS WILL BE REQUIRED BY CONTRACTOR WHEN WORKING WITHIN OR OCCUPYING PUBLIC WAY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED WORK PERMITS AND MAINTAINING A COPY OF ALL PERMITS IN A THREE RING BINDER OR PROJECT BOOK AND ON-SITE AT ALL TIMES.
23. BACKFILL WILL BE PLACED IN SUCCESSIVE LAYERS NOT MORE THAN TWELVE INCHES IN THICKNESS AND SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY DETERMINED BY STANDARD PROCTOR TEST (ASTM 698) FOR ALL APPLICABLE TYPES OF BACKFILL MATERIAL. NO FROZEN MATERIAL SHALL BE USED AS BACKFILL. IF, IN THE OPINION OF THE ENGINEER OR THE DPW, THE EXCAVATED MATERIAL IS UNSUITABLE, THE ENTIRE MATERIAL FOR BACKFILLING SHALL CONSIST OF APPROVED GRAVEL OR APPROVED BORROW, AS DIRECTED. AFTER THOROUGH TAMPING AROUND AND BENEATH THE UTILITY, A SIX-INCH LAYER OF BACKFILL WILL BE THOROUGHLY COMPACTED AS FOLLOWS: IF DRY, SHALL BE MOISTENED AND THEN COMPACTED WITH MECHANICAL TAMPERS OR BY HAND TAMPERS HAVING A TAMPING FACE NOT EXCEEDING 25 SQUARE INCHES IN AREA. THE FINAL TWELVE INCHES OF FILLING WILL, IN ALL CASES, CONSIST OF APPROVED GRAVEL THOROUGHLY TAMPED.
24. CONTRACTOR SHALL PROVIDE FIELD COMPACTION VERIFICATION UTILIZING ASTM D5195-02, STANDARD TEST METHOD FOR DENSITY OF SOIL & ROCK IN-PLACE AT DEPTHS BELOW THE SURFACE BY NUCLEAR METHODS.
25. CONTRACTOR SHALL PROVIDE FIELD COMPACTION RESULTS TO ENGINEER WITHIN 24-HOURS PRIOR TO PLACEMENT OF INFRASTRUCTURE OR BITUMINOUS BINDER.
26. ALL FILL TO BRING PROPOSED ROADWAY UP TO THE SUB-GRADE LEVEL SHALL EXTEND PAST THE EDGE OF THE RIGHT-OF-WAY AT A 2:1 SLOPE. THIS IS TO PROVIDE ADEQUATE SUPPORT FOR THE RIGHT-OF-WAY.

LAYOUT NOTES

1. ALL CONSTRUCTION IN TOWN RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN STANDARD SPECIFICATIONS.
2. IN THE EVENT OF DISCREPANCIES BETWEEN LOCAL SPECIFICATIONS AND SITE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
3. SITE CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
4. ALL STRIPING, PAVEMENT MARKINGS, AND TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, UNLESS OTHERWISE NOTED ON THE PLANS.
5. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO: AASHTO, OSHA, EPA, DEP, MASS HIGHWAY, AND THE TOWN OF AGAWAM. THE GENERAL CONTRACTOR SHALL APPLY FOR ALL PERMITS AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.
6. ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR. IF FIELD CONDITIONS VARY SIGNIFICANTLY ENOUGH TO REQUIRE A CHANGE TO THE CONTRACT DOCUMENTS, THE PROJECT PROPONENT AND LANDSCAPE ARCHITECT/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. THE SITE/GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONTACT THE OWNER AND LANDSCAPE ARCHITECT/ENGINEER SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE DRAWINGS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR HE SHALL ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
8. ANY CORRECTIONS REQUIRED FOR REVISIONS TO THE CONTRACT DRAWINGS INITIATED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS WITHOUT PRIOR APPROVAL OF THE OWNER AND OR THE LANDSCAPE ARCHITECT/ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTORS RISK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL & LEGAL DISPOSAL OF ALL MATERIAL NECESSARY TO PREPARE THE SITE FOR THE NEW CONSTRUCTION AS SHOWN ON THE SITE DRAWINGS.
10. REPAIR DAMAGED CITY/TOWN ROADS AND CURBS IN ACCORDANCE WITH MASS HIGHWAY AND/OR THE CITY/TOWN REGULATIONS.
11. CONTRACTOR SHALL SAWCUT PAVEMENT EDGE WHERE PAVEMENT TO REMAIN IS ADJACENT TO PAVEMENT TO BE REMOVED.
12. CONTRACTOR SHALL PREPARE SITE AS NECESSARY FOR CONSTRUCTION SHOWN ON THE PLANS.

EARTHWORK NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. STORM PIPE SHALL BE AS NOTED ON PLANS.
4. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
5. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT INTERVALS.
6. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT INTERVALS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MANHOLES FRAMES AND GRATES ARE TO BE SET EQUAL TO FINISH GRADES, AND SHALL HAVE TRAFFIC BEARING RING & COVERS (H20).
10. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
14. IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET WITHIN A TOLERANCE OF 0.010 FT.
15. CONTRACTOR SHALL LEAVE GRADE BEHIND CURB IN ALL PLANTER AREAS A MINIMUM OF 4" LOW FOR THE PLACEMENT OF SUITABLE TOPSOIL OR PLANTING MIX.

SITE UTILITY NOTES

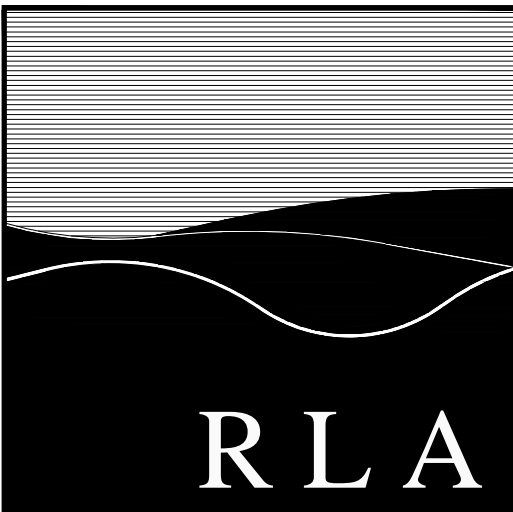
- GENERAL:
1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 2. TOPS OF EXISTING MANHOLES SHALL BE SET EQUAL TO FINISH GRADE. IN GRASSED LANDSCAPED AREAS WITH WATER TIGHT LIDS.
 3. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 4. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 5. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 6. SITE/GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES AT THE CITY WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 9. CONTRACTOR SHALL COORDINATE INSPECTION OF UTILITY LINES WITH APPROPRIATE AUTHORITIES PRIOR TO BACKFILLING TRENCHES.
 10. CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS OR DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND MAINTENANCE OF ALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION.
 11. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES WITH LOCAL COMPANIES TO AVOID CONFLICTS AND TO ASSURE THAT PROPER DEPTHS ARE ACHIEVED. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES FOR EXACT LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 12. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, DUE TO THE LACK OF AVAILABLE DOCUMENTATION. ALL UTILITIES, INCLUDING CURB BOXES, MAY NOT BE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL CALL THE "DIG SAFE CENTER" TO HAVE ALL UTILITIES MARKED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 14. DO NOT INTERRUPT EXISTING UTILITIES WITHOUT AUTHORIZATION FROM THE OWNER, OWNERS OF ADJACENT PROPERTIES, AND THE CORRESPONDING UTILITY OWNER. CONTRACTOR SHALL ARRANGE TO SHUT OFF UTILITIES, AS REQUIRED, WITH THE UTILITY OWNERS.
 15. COORDINATE UTILITY TERMINATION WITH UTILITY OWNERS.
 16. ALL CAST IRON PRODUCTS UTILIZED WITHIN CITY/TOWN RIGHT OF WAYS MUST BE MANUFACTURED IN THE U.S.A.

- SEWER:
1. SANITARY SEWER MAINS AND LATERALS SHALL BE PVC PIPE CONFORMING TO ASTM D 3034-SDR35. THE MINIMUM SIZE FOR SEWER MAINS SHAL BE 8"; SEWER LATERALS SHALL BE 6" MIN.
 2. ALL SANITARY SEWERS, SEWER FORCE MAINS, AND SEWER LATERALS SHALL BE INSTALLED IN FIRST-CLASS BEDDING AND IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. SEWERS SHALL BE INSTALLED TO THE LINE AND GRADE INDICATED ON THE PLANS.
 3. ONLY PRECAST CONCRETE MANHOLES OF A DESIGN APPROVED BY THE TOWN ENGINEER SHALL BE INSTALLED ON A SANITARY SEWER MAIN.
 4. NO GROUNDWATER OR SURFACE WATER SHALL BE DISCHARGED INTO THE SANITARY SEWER.
 5. WHERE ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO A DEPTH OF ONE FOOT BELOW THE FLOWLINE OF THE SEWER AND THE PIPE LAID IN A PROPERLY COMPACTED GRANULAR MATERIAL APPROVED BY THE TOWN ENGINEER.
 6. ONLY GRANULAR MATERIAL APPROVED BY THE TOWN ENGINEER SHALL BE USED AS BACKFILL IN ANY TRENCH EXCAVATION.

- WATER:
1. CONTRACTOR SHALL CONTACT THE CITY/TOWN WATER DEPARTMENT FOR SPECIFICATIONS AND MAKE OF VALVES, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER WATER LINE APPURTENANCES.
 2. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL DPW SPECIFICATIONS AND WATER DISTRIBUTION SYSTEM. CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY WATER DEPARTMENT.
 3. ALL WATER MAIN SHALL BE DUCTILE IRON (D.I.), CLASS 52, AWWA C-151 (ANSI A21.40). D.I. PIPE SHALL BE DOUBLE CEMENT LINED WITH A SEAL COAT CONFORMING TO AWWA C-104 (ANSI A-21.4).
 4. JOINTS FOR D.I. PIPE SHALL BE PUSH-ON OR OTHERWISE APPROVED, AWWA C151(ANSI A-21.51) WITH GASKETS CONFORMING TO AWWA C-111 (ANSI A-21.11) MAXIMUM LENGTH OF PIPE TO BE 20 L.F.
 5. ALL FITTINGS SHALL BE DUCTILE IRON CLASS 53 WITH PRESSURE RATING OF 350 PSI AND MECHANICAL JOINTS CONFORMING TO AWWA C-151 (ANSI A21.51).
 6. RETAINER GLANDS: RETAINER GLANDS SHALL BE DESIGNED TO IMPART MULTIPLE WEDGING ACTION AGAINST THE PIPE, INCREASE ITS RESISTANCE AS THE PRESSURE INCREASES. GLANDS SHALL BE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A536-80. RESTRAINING DEVICES SHALL BE DUCTILE IRON HEAT-TREATED TO A MINIMUM HARNNESS OF 370 BHN. TWIST-OFF NUTS SHALL BE USED TO INSURE PROPER ACTUATING OF THE RETAINER GLAND. DIMENSIONS OF THE GLAND SHALL BE SUCH THAT IT CAN BE USED WITH THE STANDARD MECHANICAL JOINT BELL AND TEE-HEADED BOLTS CONFORMING TO ANSI/AWWA A21.1 AND ANSI/AWWA 153/A21.5. THE RETAINER GLAND SHALL HAVE A WORKING PRESSURE OF 250 PSI WITH A MINIMUM SAFETY FACTOR OF 2:1 AND SHALL BE CERTIFIED BY THE MANUFACTURER TO BE COMPATIBLE WITH THE PIPE CLASS AND PIPE MANUFACTURER FOR ALL SIZES PROVIDED ON THE JOB. THE RETAINER GLAND SHALL BE MEGA-LUG AS MANUFACTURED EBAA IRON, INC., OR APPROVED EQUAL.
 7. ALL WATER MAINS, UNLESS OTHERWISE NOTED, SHALL BE INSTALLED WITH A MINIMUM VERTICAL SEPARATION OF SIX INCHES SHALL BE PROVIDED. WHEN CROSSING SANITARY SEWERS, A MINIMUM OF 18" SHALL BE PROVIDED.

SITE UTILITY NOTES (CONTINUED)

1. THE INSTALLED WATER MAIN SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED BY CONTRACTOR IN ACCORDANCE WITH AWWA C-600 AND AWWA C-651 OR PER CITY/TOWN WATER DEPARTMENT STANDARDS.
1. DUCTILE IRON PIPES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-600.
2. ALL MECHANICAL JOINTS ARE TO BE RESTRAINED. FITTINGS SHALL BE RESTRAINED BY MECHANICAL JOINT RESTRAINTS. THE PIPE CONNECTED TO THE FITTING SHALL BE RESTRAINED PER THE RESTRAINT SCHEDULE.
3. THE CONTRACTOR SHALL MARK THE LOCATION OF THE PROPOSED WATER MAIN AT LEAST 48 HOURS PRIOR TO EXCAVATING. EXCAVATION SHALL NOT PROCEED WITHOUT AUTHORIZATION BY THE ENGINEER.
4. ALL WATER MAINS, HYDRANT BRANCHES, AND SERVICES SHALL HAVE UTILITY WARNING TAPE. THE TAPE SHALL BE BURIED APPROXIMATELY 2 FEET BELOW FINISHED GRADE.
5. BACKFILL SHALL BE COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698. COMPACTION EQUIPMENT USED MUST BE SPECIFICALLY DESIGNED FOR COMPACTION. TAMPING WITH THE BACK OF THE BACK HOE BUCKET IS UNACCEPTABLE COMPACTION.
6. ALL WATER SERVICES SHALL BE 1" DIA. COPPER TUBING TYPE K, SOFT TEMPER CONFORMING TO ASTM B88 UNLESS OTHERWISE NOTED.
7. DEPRESS WATER MAIN UNDER EXISTING SERVICES AND HYDRANT BRANCHES TO MAINTAIN 5'-0" OF COVER.
8. ALL WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM EXISTING OR PROPOSED SANITARY SEWER. DISTANCE SHALL BE MEASURED EDGE TO EDGE.
9. IDENTIFY EACH PIPE LENGTH & FITTING CLEARLY WITH MANUFACTURE'S NAME & TRADEMARK. NOMINAL PIPE SIZE & MATERIAL DESIGNATION.
10. ALL WATER MAINS & SERVICE PIPES SHALL BE LAID IN A TRENCH SEPARATE FROM ANY OTHER UTILITY (GAS, ELECTRIC, TELEPHONE, ETC.) SHALL BE A MINIMUM NO LESS THAN FIVE (5) FEET FROM ANOTHER UTILITY.
11. ALL MATERIAL SHALL BE IN ACCORDANCE WITH CITY/TOWN WATER DEPARTMENT "RULES & REGULATIONS". ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY/TOWN WATER DEPARTMENT "SPECIFICATIONS". CITY/TOWN WATER DEPARTMENT STANDARDS SHALL TAKE PRECEDENCE OVER ANY REQUIREMENTS LISTED ABOVE.



R LEVESQUE ASSOCIATES, INC
Land Surveying, Site Design,
Landscape Architecture, Planning
Environmental Permitting

ph: 413.568.0985 fax: 413.568.0986

40 School Street · P.O. Box 640
Westfield, MA 01086

rlaland.com

CONSTRUCTION NOTES

Pondview Drive
Easterly of Orchard Road
East Longmeadow, MA

PREPARED FOR:

Joseph Chapdelaine
& Sons, Inc.
87 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE:

September 30, 2013

REVISIONS:	DATE:

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THIS DOCUMENT IS A VIOLATION
OF MASSACHUSETTS STATE LAW

SCALE:

No Scale

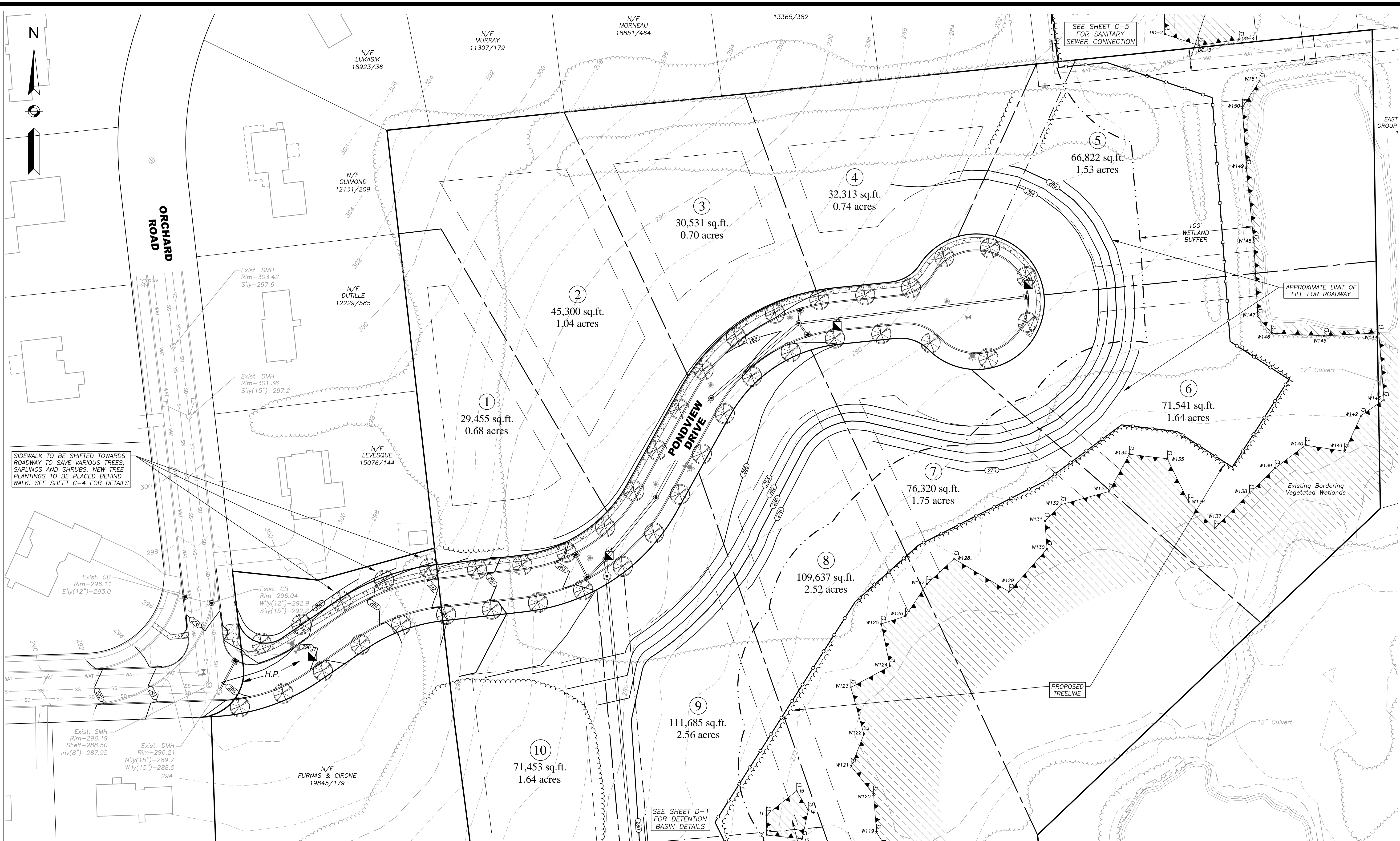
RLA PROJECT NUMBER:

130501

DRAWING#	REV.
C-2	0

Names of Planning Board Members	Action Taken	Date
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PERMITTING



NOTES

1. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON SURFACE FEATURES AS LOCATED BY SURVEY AND AVAILABLE RECORD DATA AND ARE APPROXIMATE. ACTUAL FIELD LOCATIONS SHOULD BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO CONSTRUCTION.
2. TOTAL LAND AREA TO BE SUBDIVIDED IS APPROXIMATELY 17.126 ACRES.
3. PARCEL IS ZONED RESIDENCE 'A' ACCORDING TO THE TOWN OF EAST LONGMEADOW ZONING MAP.
4. TOTAL NUMBER OF LOTS SHOWN ON PLAN - 10 LOTS.
5. APPROXIMATE LENGTH OF PONDVIEW DRIVE - 850 FEET.
6. WETLANDS DELINEATED BY PIONEER ENVIRONMENTAL, INC.
7. EXISTING TOPOGRAPHY TAKEN FROM AERIAL PHOTOGRAMMETRIC SURVEY BY COL-EAST, INC. AND SUPPLEMENTED WITH AN ON-GROUND SURVEY PERFORMED BY SMITH ASSOCIATES SURVEYORS, INC.

CONSTRUCTION NOTES

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2. CONTRACTOR TO NOTIFY DIG SAFE A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION ACCORDING TO MA GENERAL LAWS.
3. APPROVED PLANS TO BE ON SITE AT ALL TIMES.
4. CHANGES TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES TO BE APPROVED BY DESIGN ENGINEER, FIELD INSPECTOR AND TOWN ENGINEER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND SAFETY OF TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
6. CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS, AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
7. TREES, BRUSH AND STUMPS REMOVED BY CLEARING AND GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
8. CALCIUM CHLORIDE/WATER FOR DUST CONTROL TO BE AVAILABLE AT ALL TIMES.
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10. ALL CONSTRUCTION METHODS TO CONFORM TO TOWN OF EAST LONGMEADOW PLANNING BOARD REGULATIONS AND BOARD OF PUBLIC WORKS SPECIFICATIONS.
11. EAST LONGMEADOW BOARD OF PUBLIC WORKS APPROVAL IS NOT TO BE CONSTRUED AS AN ALL INCLUSIVE APPROVAL AS OTHER APPROVALS MAY BE NECESSARY. I.E. TOWN ENGINEER, CONSERVATION, FIRE DEPARTMENT, WATER DEPARTMENT, ETC.
12. ALL CATCH BASINS TO HAVE 48" SEALED SUMPS AND HOODS.
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BENCHMARKS

- NORTHWEST CORNER OF METAL FRAMED WATER METER PIT LOCATED ON THE SOUTHERLY SIDE OF ORCHARD ROAD APPROXIMATELY 215' EASTERLY OF INTERSECTION WITH PINE GROVE CIRCLE IN LINE WITH 20' UTILITY EASEMENT. ELEVATION = 286.65
- TOP OF IRON PIN LOCATED ON EASTERLY SIDE OF ORCHARD ROAD AT THE SOUTHWEST CORNER OF LOT FOR HOUSE #123 ORCHARD ROAD. ELEVATION = 298.38

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40 School Street · P.O. Box 640
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SITE GRADING & TREE PLANTING PLAN

Pondview Drive
Easterly of Orchard Road
East Longmeadow, MA

PREPARED FOR:

Joseph Chapdelaine
& Sons, Inc.
37 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE:

September 30, 2013

REVISIONS:	DATE:
Planning Board review	11/22/13

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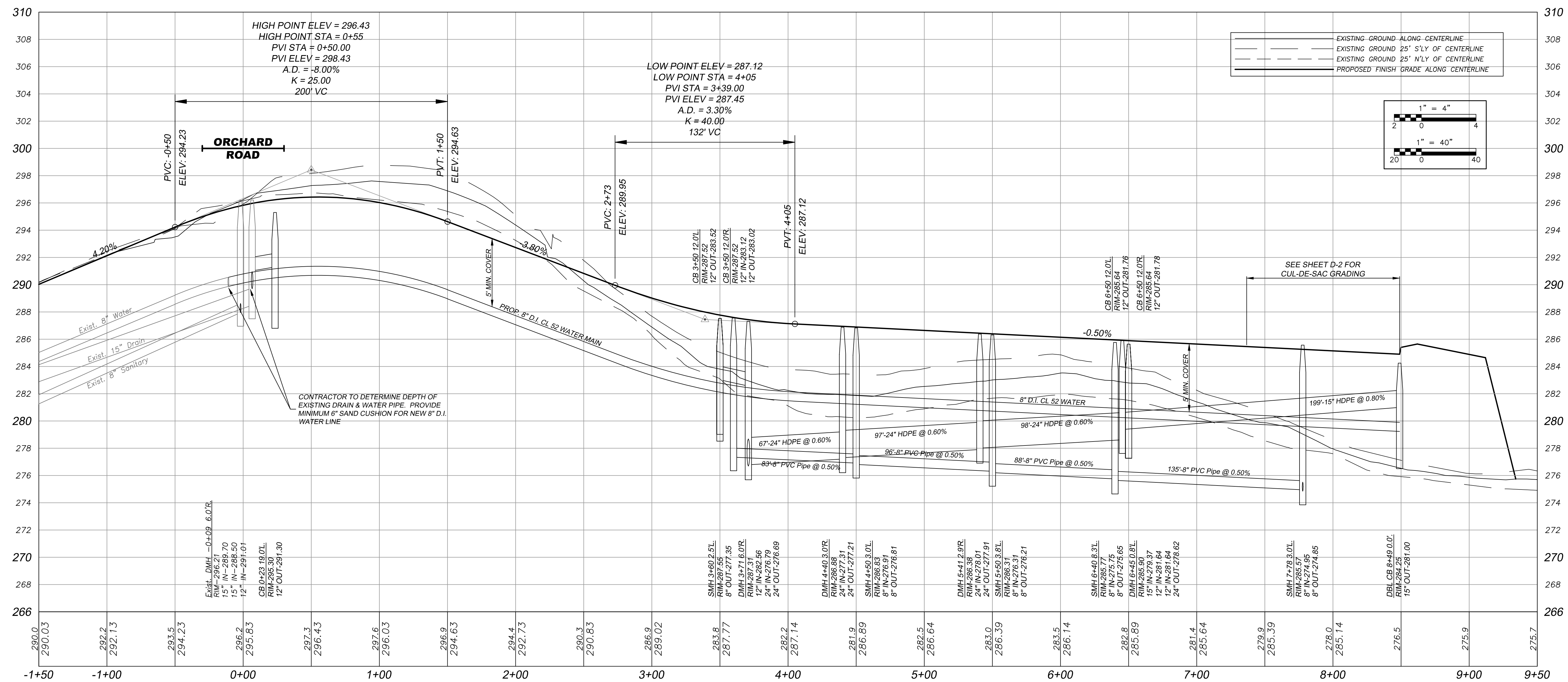
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1" = 40'

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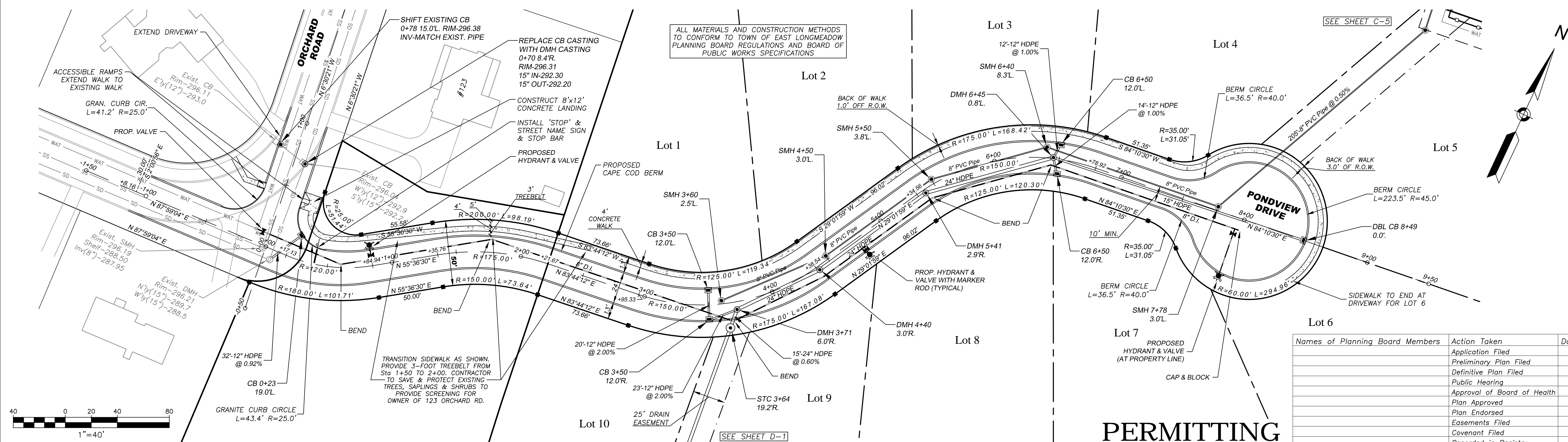
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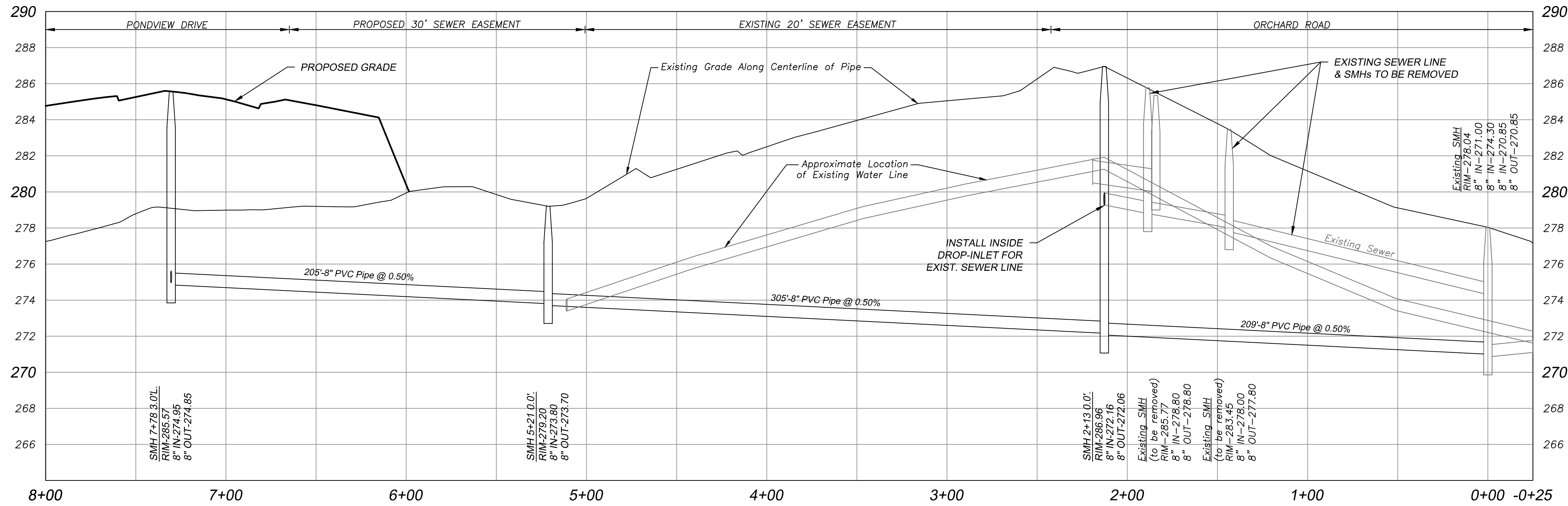


PROFILE ALONG CENTERLINE OF PROPOSED ROADWAY

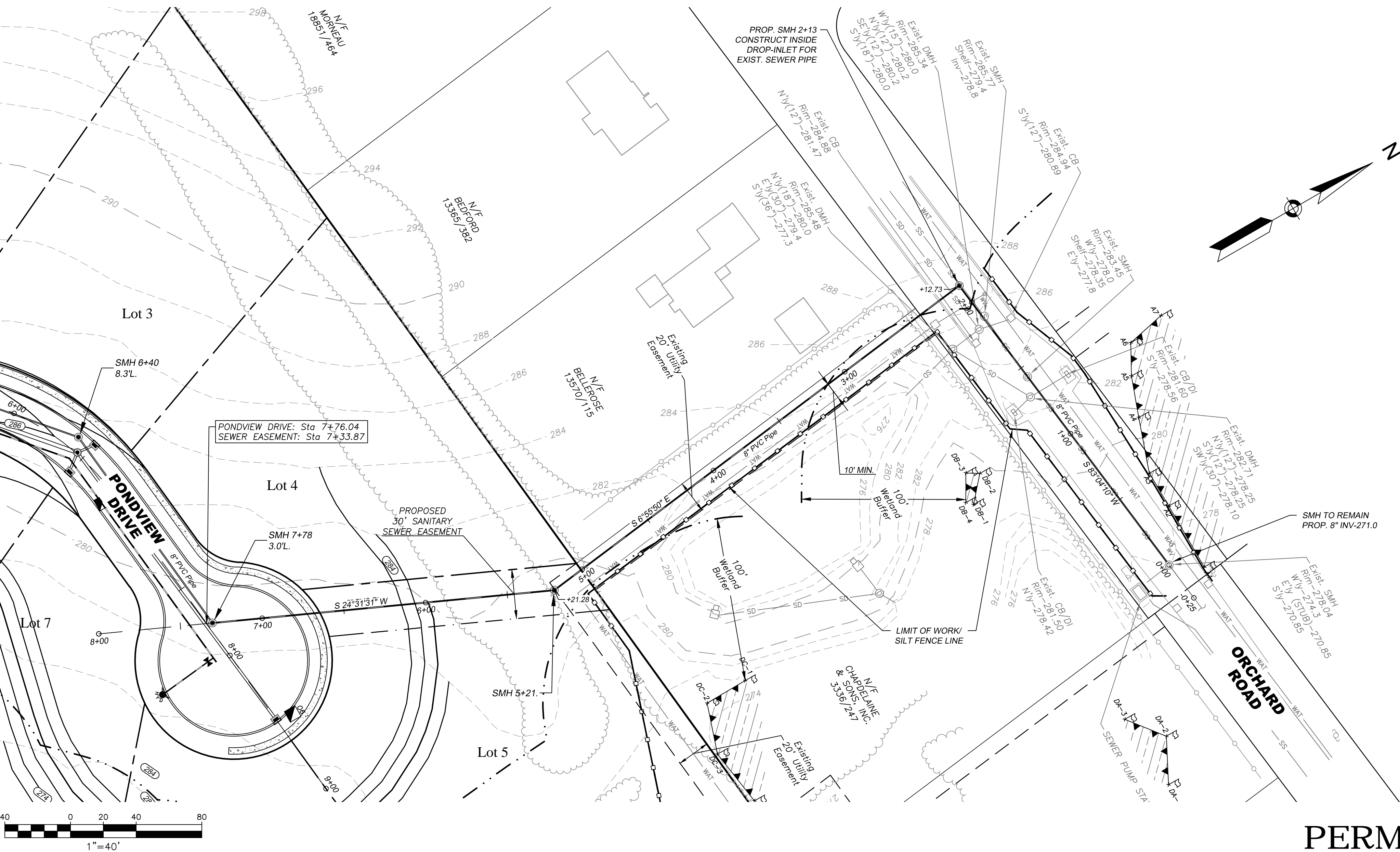
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SANITARY SEWER PROFILE
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PLAN & PROFILE

Sanitary Sewer

(Easement & Orchard Road)

Pondview Drive

Easterly of Orchard Road

East Longmeadow, MA

PREPARED FOR:

Joseph Chapdelaine
& Sons, Inc.
37 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE:

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REVISIONS:	DATE:

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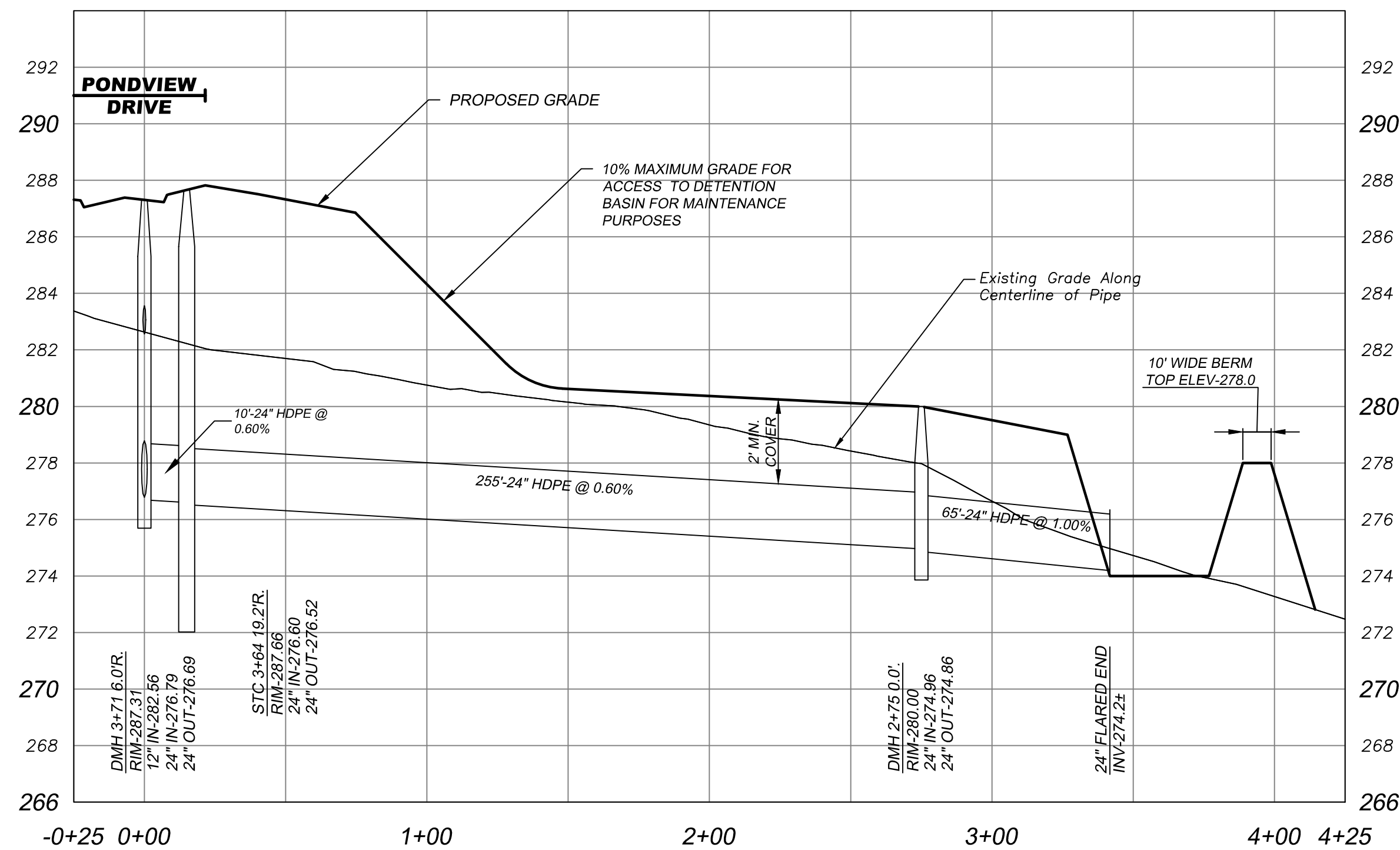
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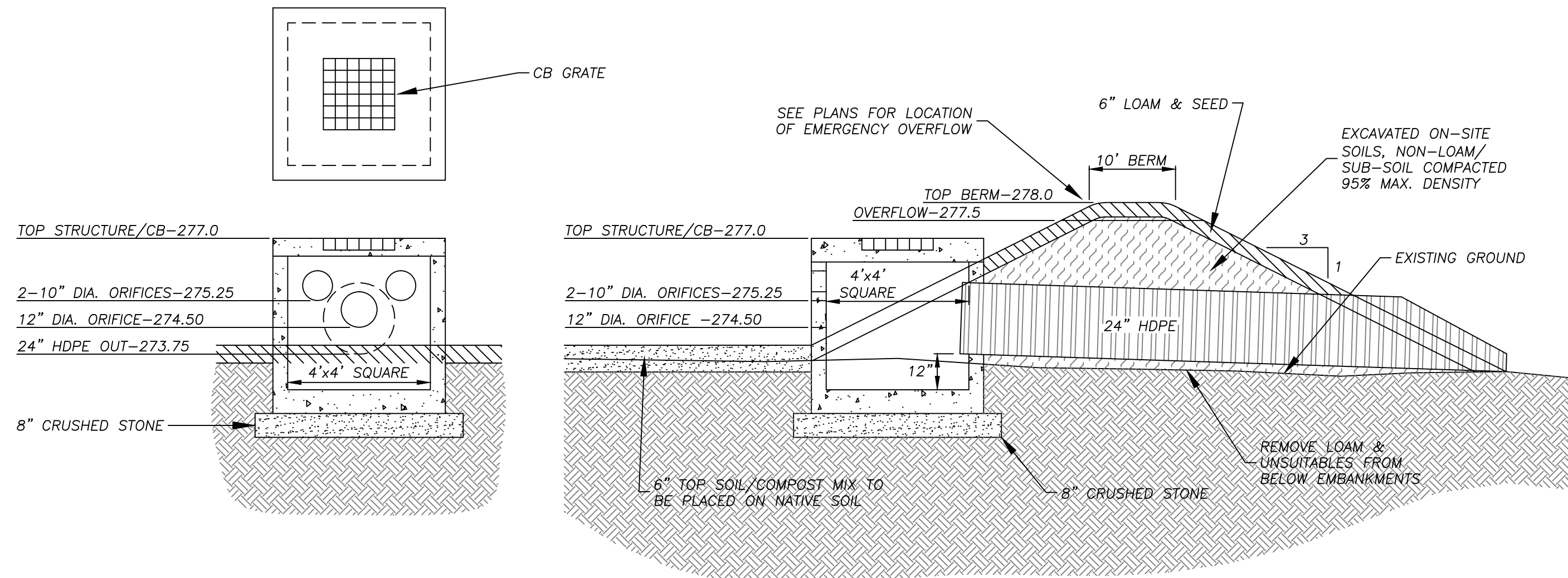
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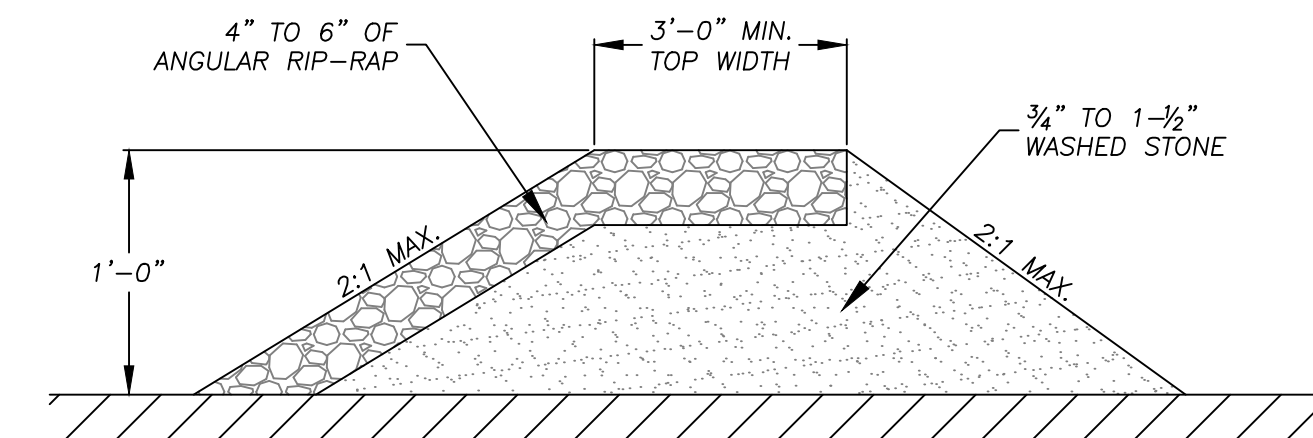
STORM DRAIN EASEMENT PROFILE
HORIZONTAL 1" = 40'
VERTICAL 1" = 4'



INFILTRATION BASIN OUTLET DETAIL
NO SCALE

INFILTRATION BASIN NOTES

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS, ETC.) TO THE INFILTRATION BASIN AREAS DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH HEAVY CONSTRUCTION EQUIPMENT. PERFORM EXCAVATIONS WITH LIGHT EARTH-MOVING EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM IF FEASIBLE.
- IF INFILTRATION BASIN AREAS ARE EXPOSED DURING CONSTRUCTION AND DO RECEIVE SEDIMENT DEPOSITS, BASIN BOTTOMS MUST BE OVER EXCAVATED 6-8" INTO NATIVE MATERIAL TO REMOVE SEDIMENT DEPOSITS.
- ALL DRAINAGE AREAS TO AN INFILTRATION BASIN FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF TOPSOIL/COMPOST MIX AND SEED MIX.
- INFILTRATION BASIN BOTTOMS AND EMBANKMENTS TO BE SEEDED AS NOTED ON PLANS. NO TREES OR SHRUBS TO BE PLANTED WITHIN INFILTRATION BASINS OR EMBANKMENTS. DO NOT USE SOD.



SEDIMENT FOREBAY
NO SCALE

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO TOWN OF EAST LONGMEADOW PLANNING BOARD REGULATIONS AND BOARD OF PUBLIC WORKS SPECIFICATIONS

PERMITTING

Names of Planning Board Members	Action Taken	Date
	Application Filed	
	Preliminary Plan Filed	
	Definitive Plan Filed	
	Public Hearing	
	Approval of Board of Health	
	Plan Approved	
	Plan Endorsed	
	Easements Filed	
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Environmental Permitting
ph: 413.568.0985 fax: 413.568.0986
40 School Street · P.O. Box 640
Westfield, MA 01086
rlaland.com

DETAILS & SPECIFICATIONS

Pondview Drive
Easterly of Orchard Road
East Longmeadow, MA

PREPARED FOR:

Joseph Chapdelaine
& Sons, Inc.
37 Shaker Road
East Longmeadow, MA 01028

ISSUANCE DATE:

September 30, 2013

REVISIONS:

DATE:

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OF MASSACHUSETTS STATE LAW

SCALE:

As Noted

RLA PROJECT NUMBER:

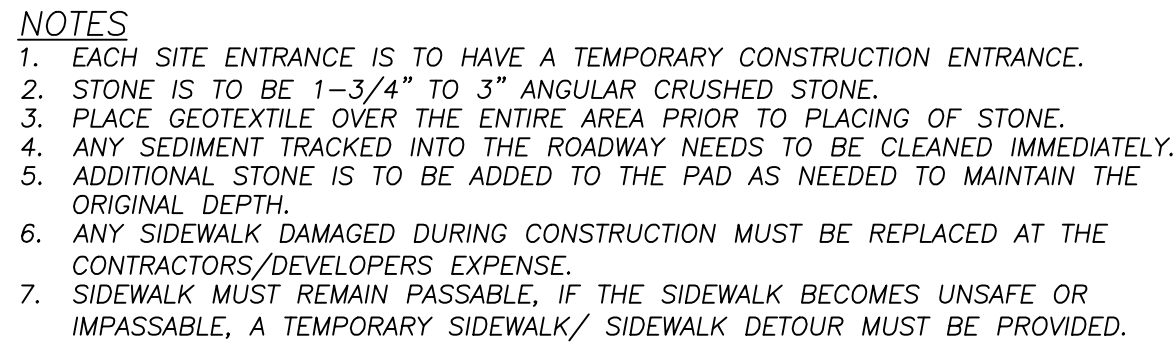
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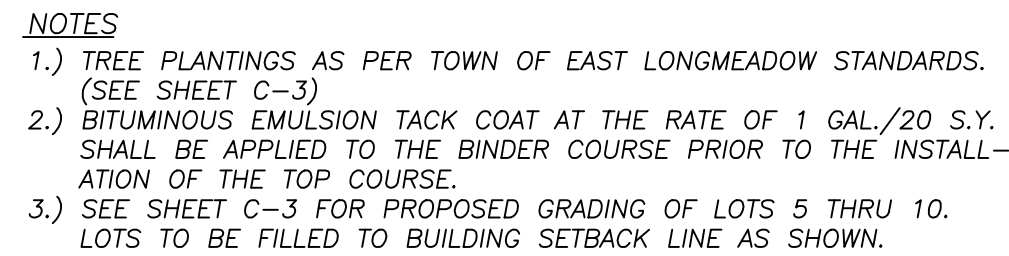
REV.

D-1 0

STORM DRAIN EASEMENT & INFILTRATION BASIN DETAIL
1" = 40'



ANTI-TRACKING APRON
NO SCALE



TYPICAL ROADWAY CROSS-SECTION



ALL MATERIALS AND CONSTRUCTION METHODS
TO CONFORM TO TOWN OF EAST LONGMEADOW
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	<i>Plan Approved</i>	
	<i>Plan Endorsed</i>	
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PERMITTING

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Easterly of Orchard Road
East Longmeadow, MA**

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ISSUANCE DATE:

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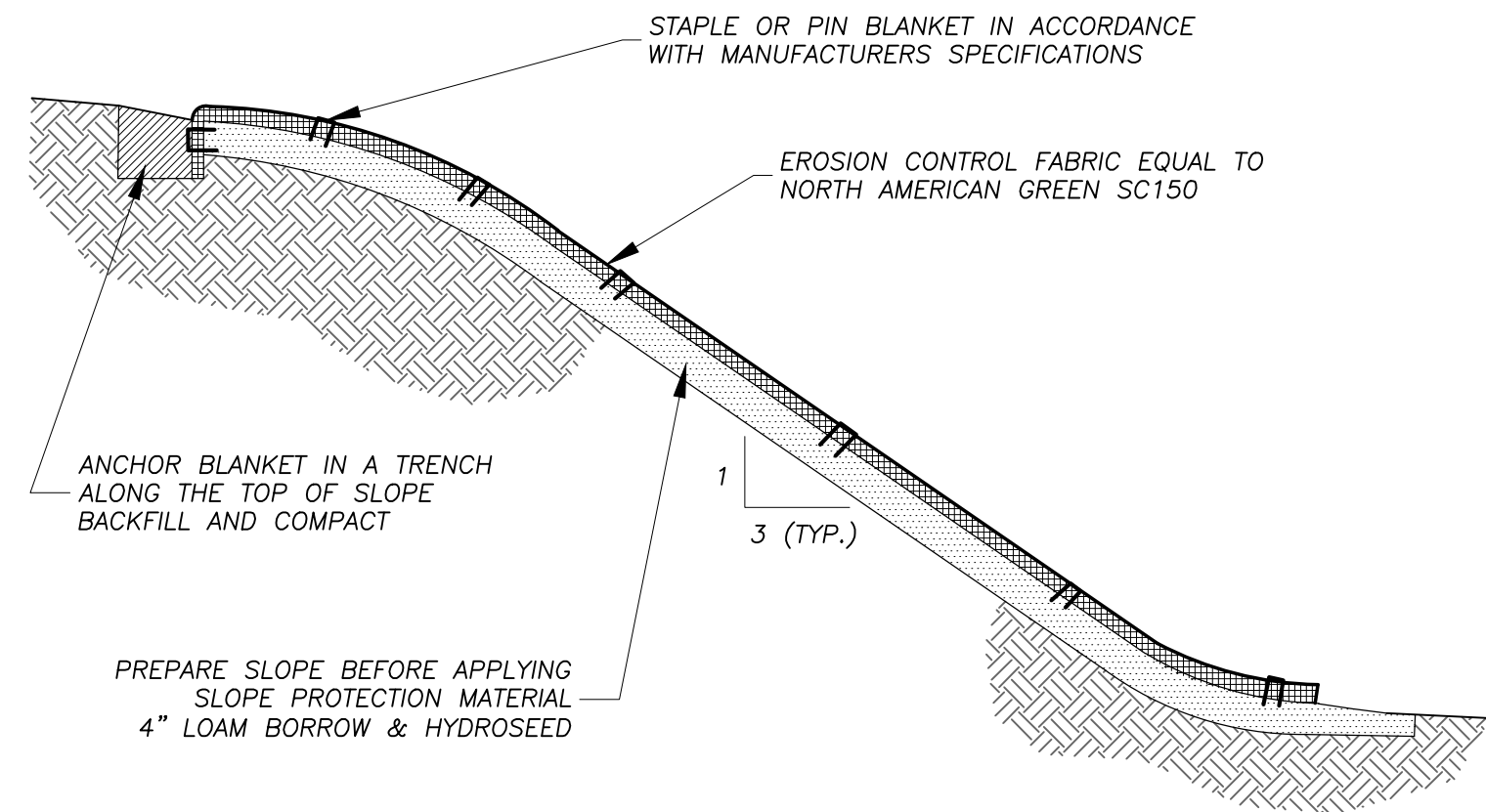
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15/05/2011

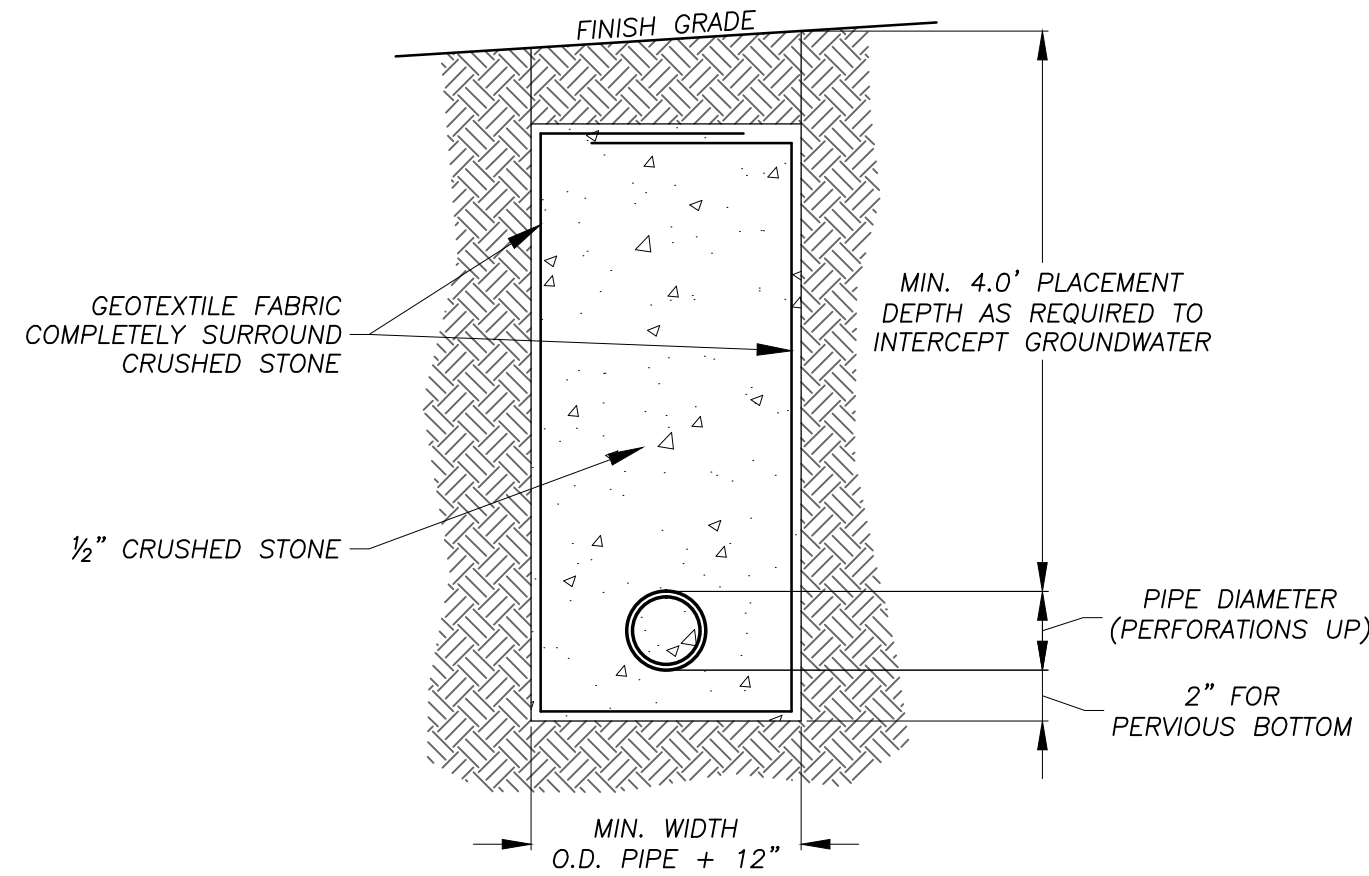
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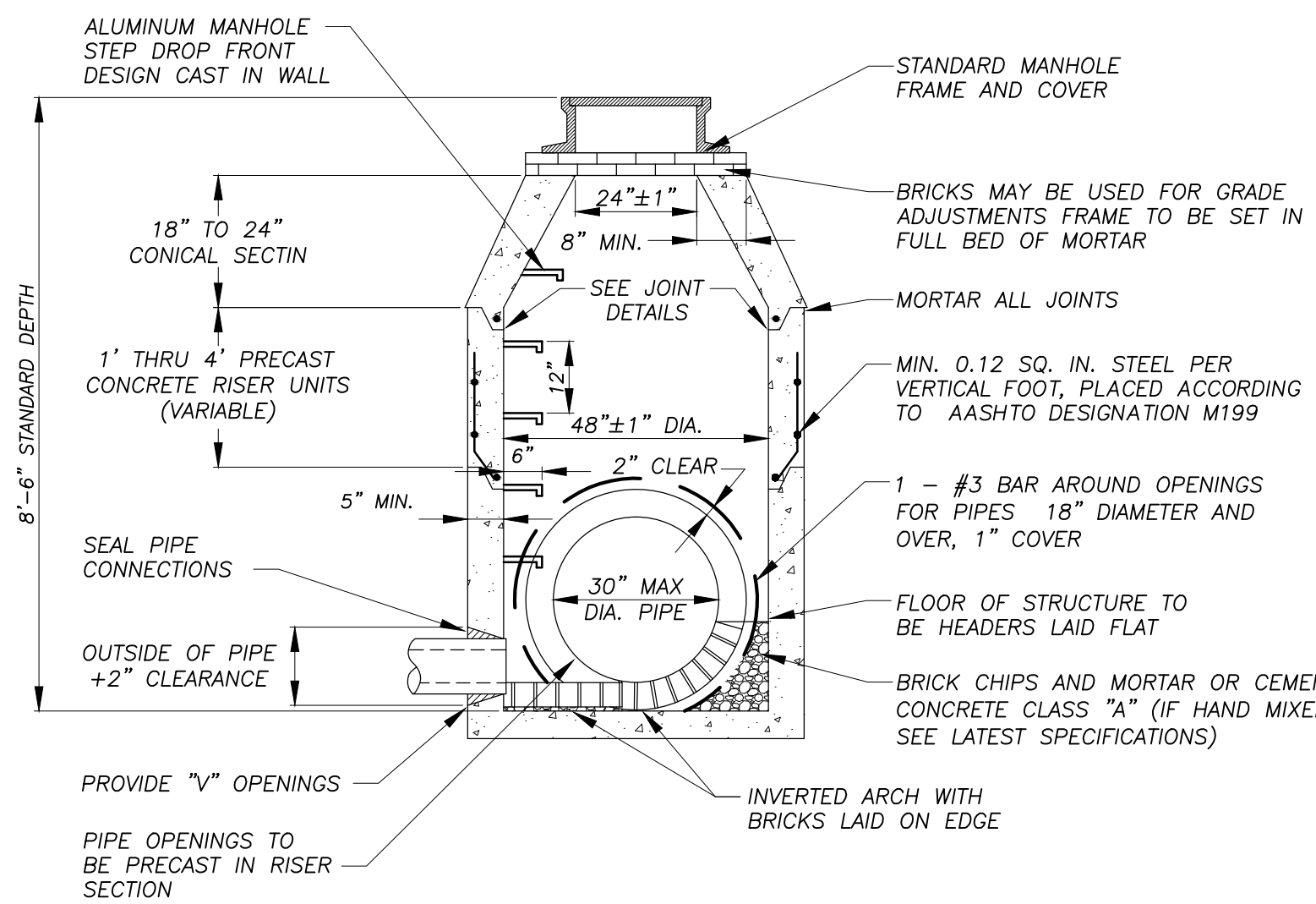
11/11/2019



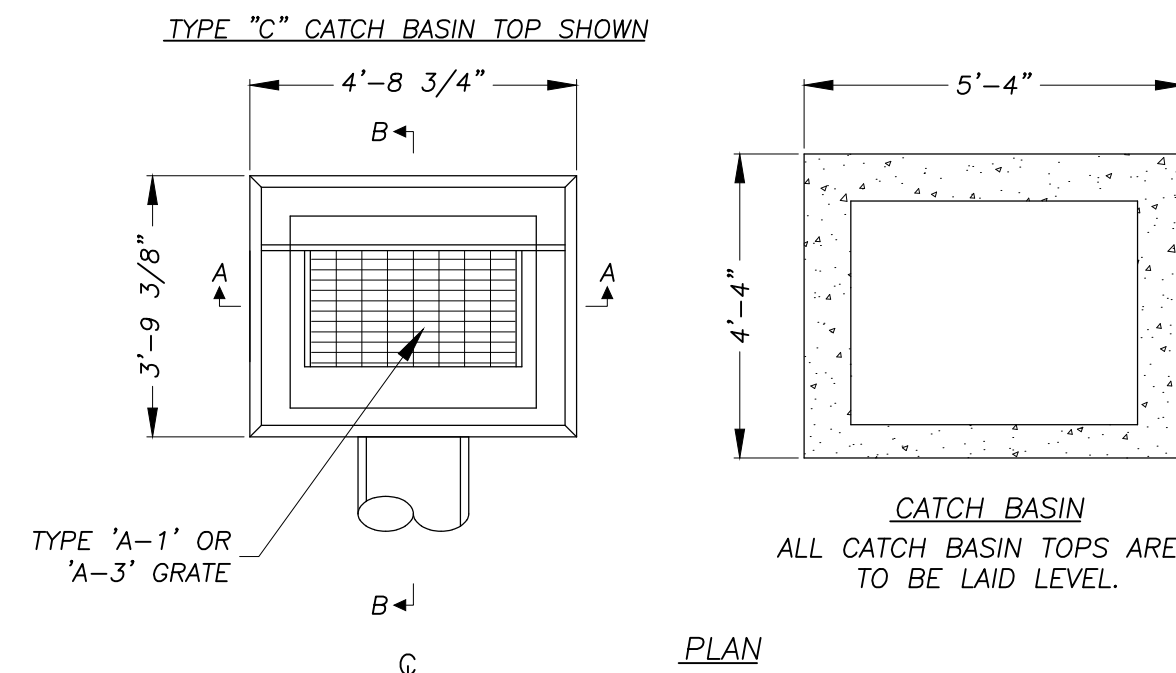
SLOPE PROTECTION MATERIAL INSTALLATION
NO SCALE



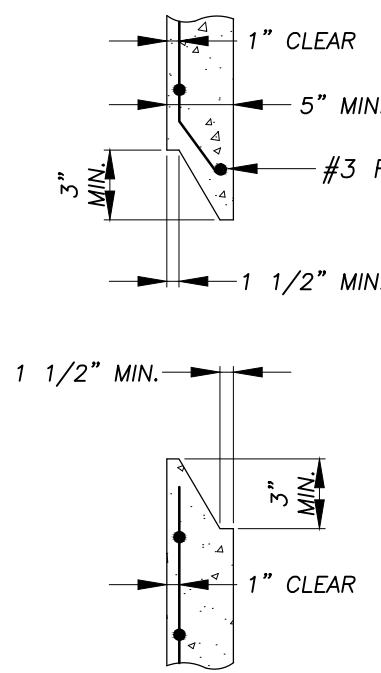
UNDERDRAIN DETAIL
NO SCALE



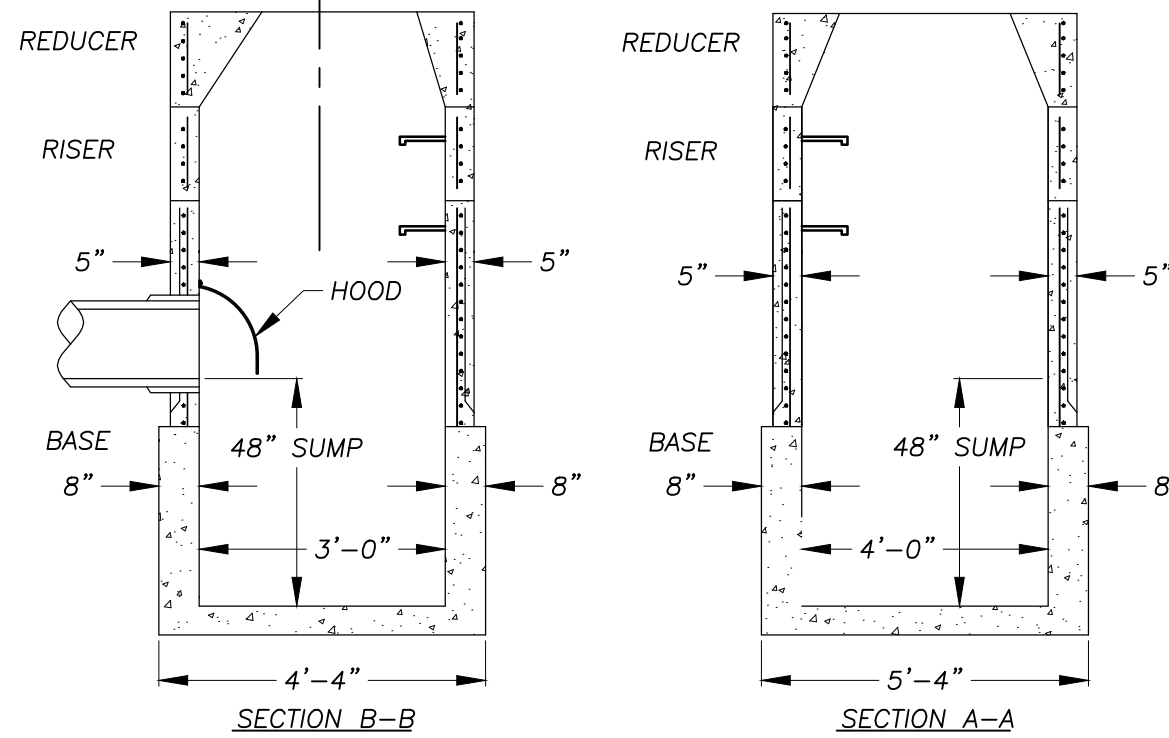
PRECAST CONCRETE MANHOLE (9 FEET OR LESS IN DEPTH)
NO SCALE



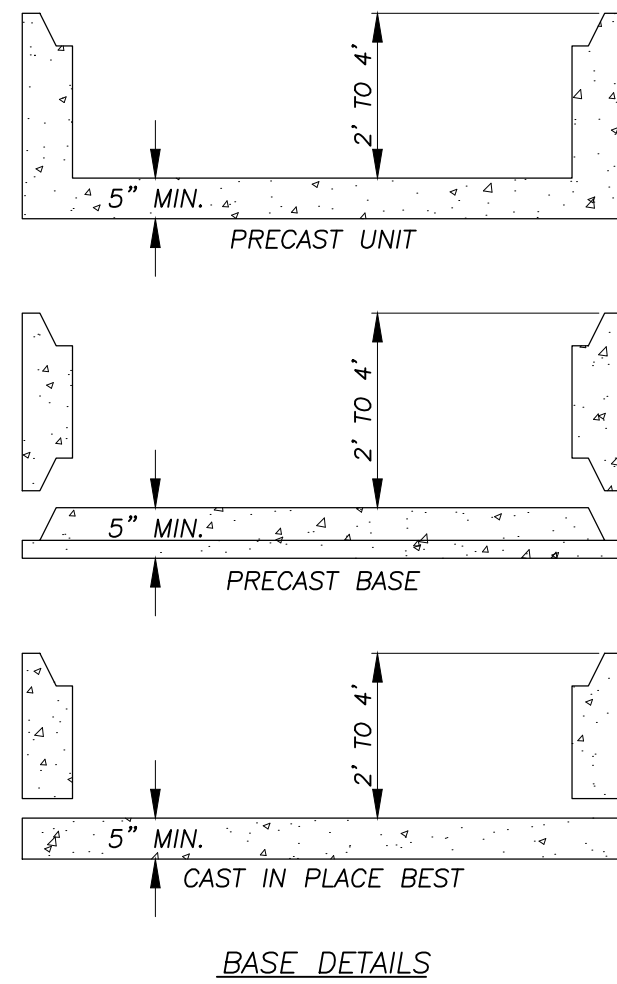
PRECAST CONCRETE CATCH BASIN
NO SCALE



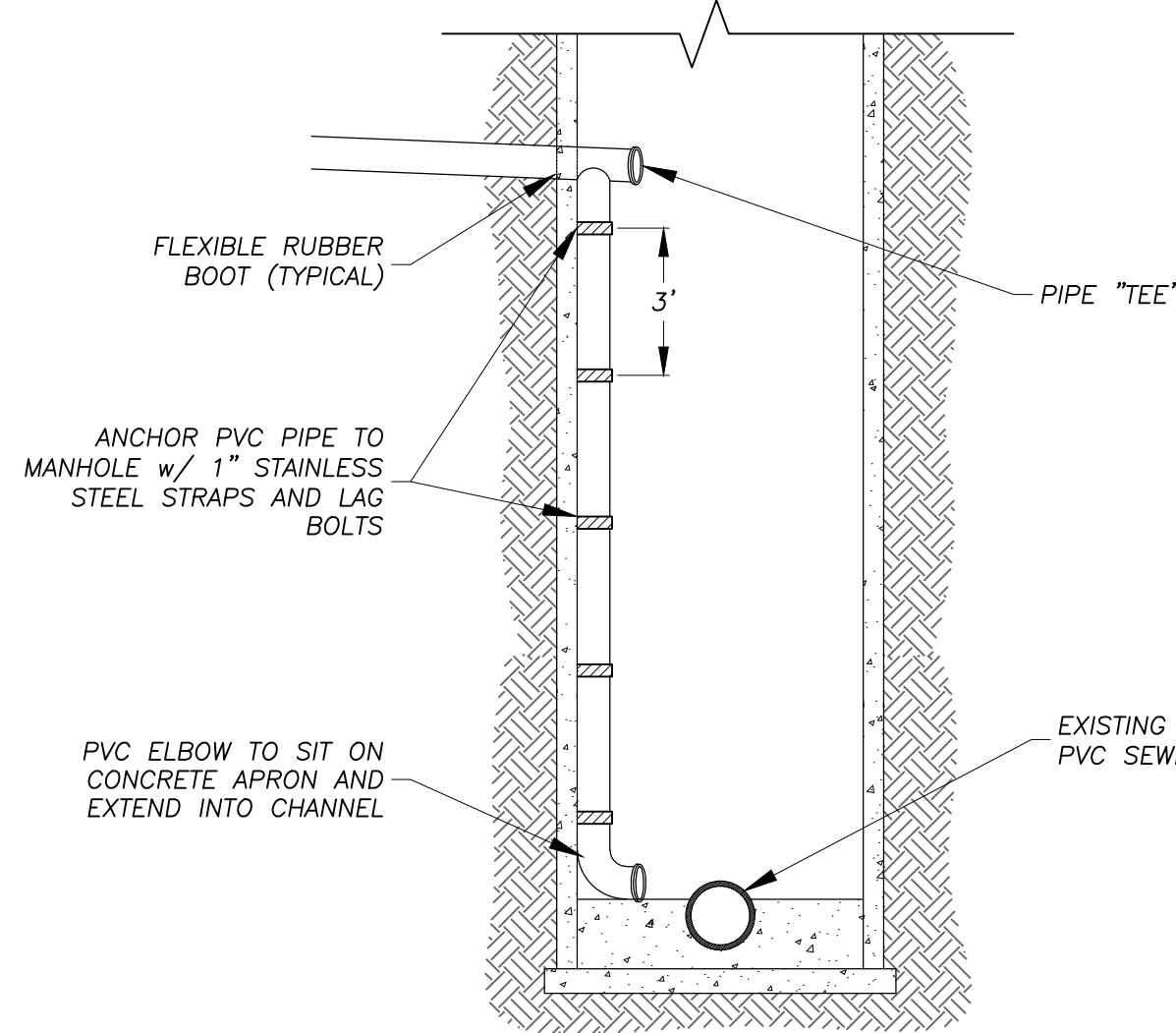
JOINT DETAILS



PRECAST CONCRETE CATCH BASIN
NO SCALE

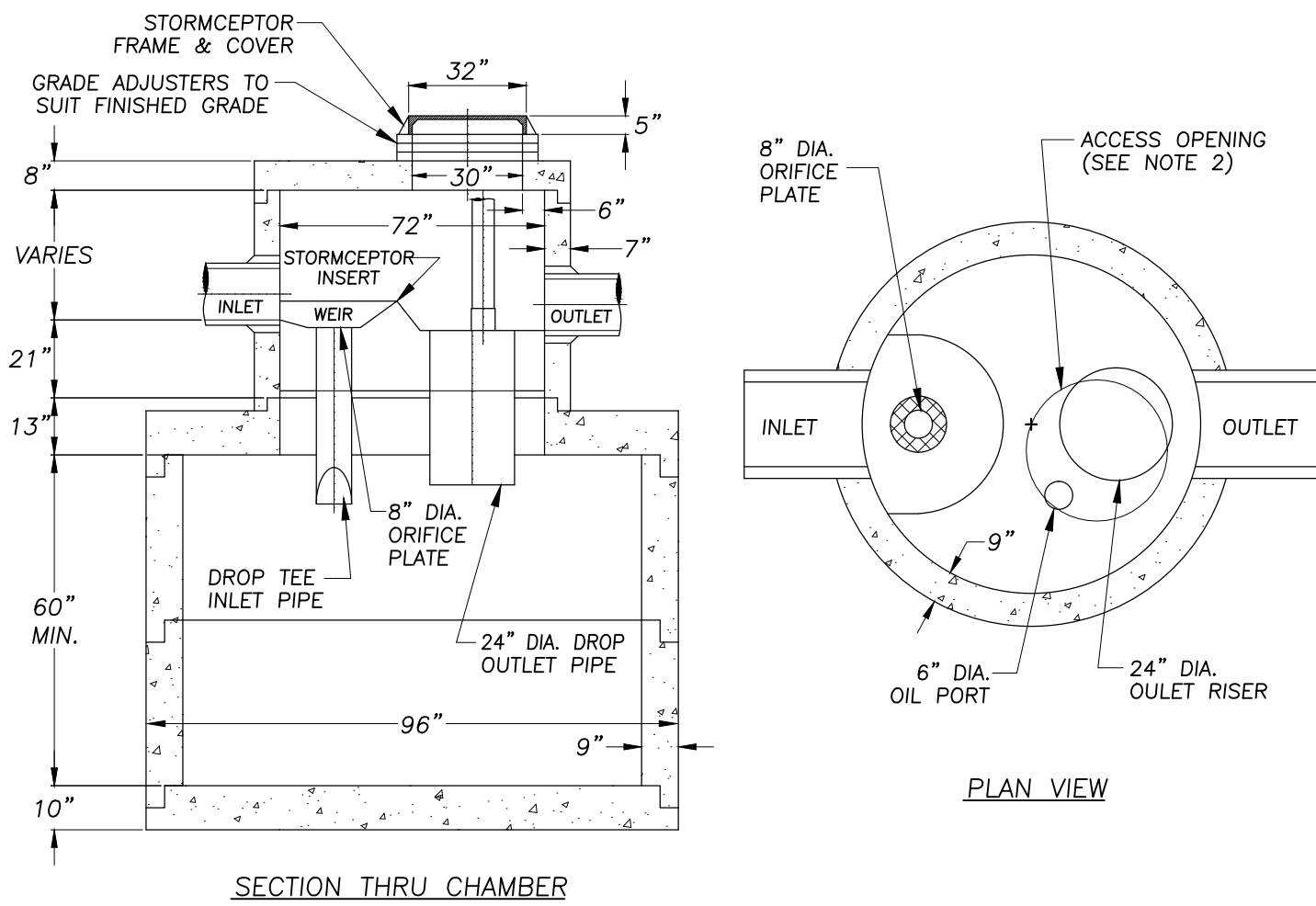


BASE DETAILS



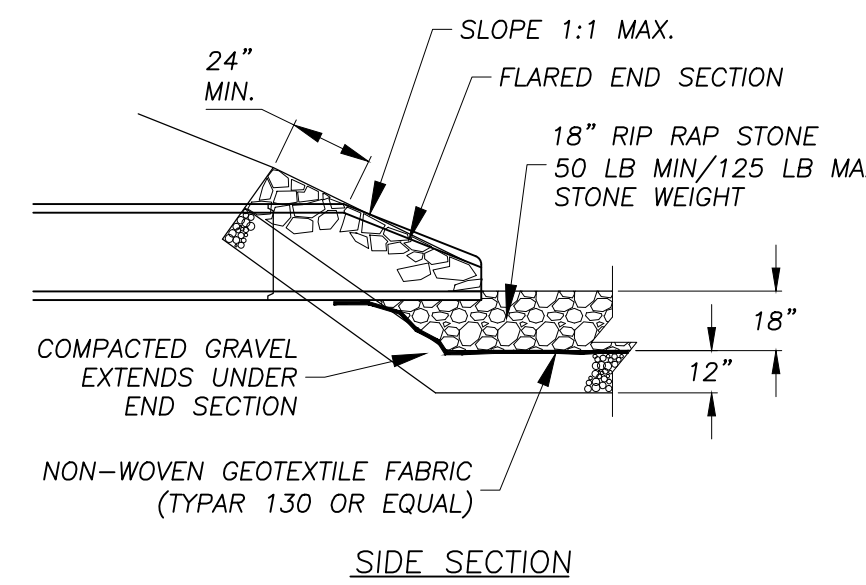
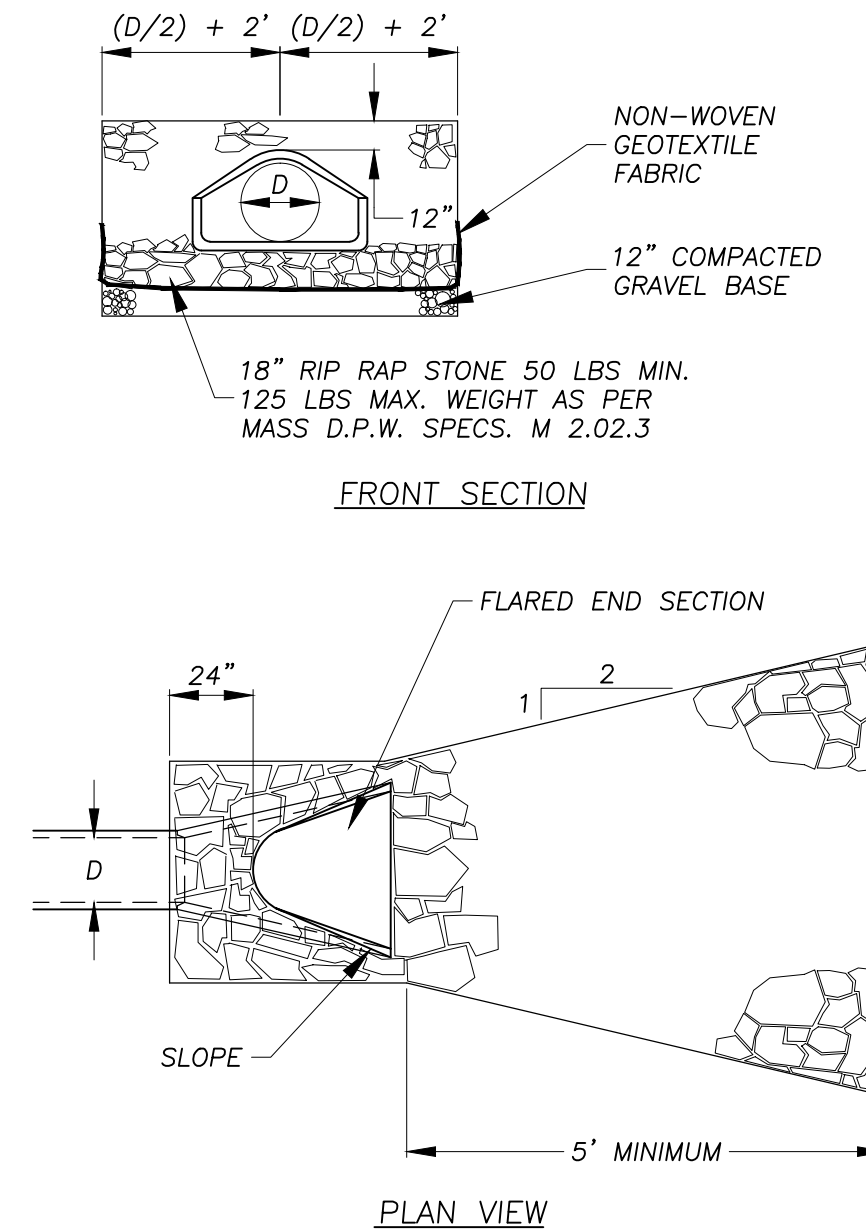
SEWER DROP INLET DETAIL
NO SCALE

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO TOWN OF EAST LONGMEADOW PLANNING BOARD REGULATIONS AND BOARD OF PUBLIC WORKS SPECIFICATIONS



- NOTES:
1.) THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2.) THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.
3.) THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4.) CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

STC 2400 PRECAST CONCRETE STORMCEPTOR
NO SCALE



NOTE: FLARED END SECTION PIPE JOINT SHALL BE SIMILAR TO THE MAIN RUN OF PIPE JOINTS

STANDARD RIP RAP PIPE OUTLET
NO SCALE

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PERMITTING

DETAILS & SPECIFICATIONS

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D-3

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R LEVESQUE ASSOCIATES, INC

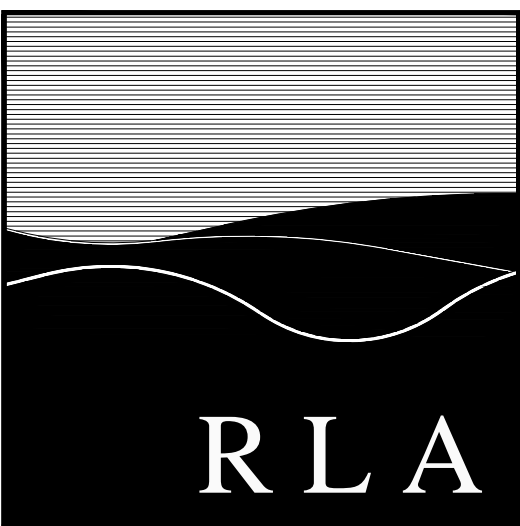
Land Surveying, Site Design,
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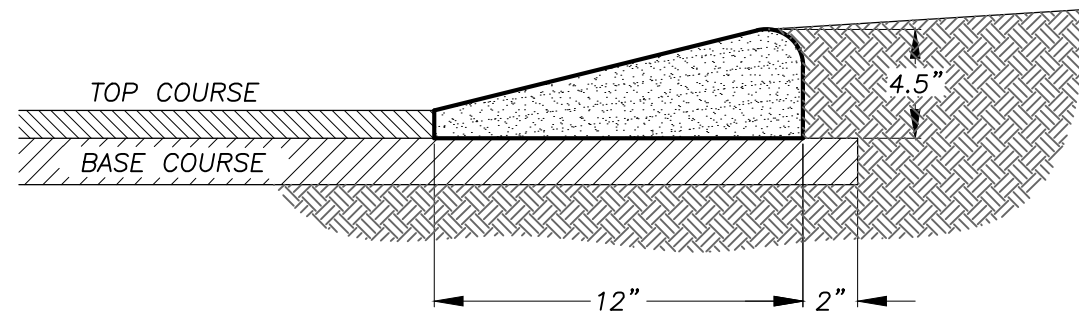
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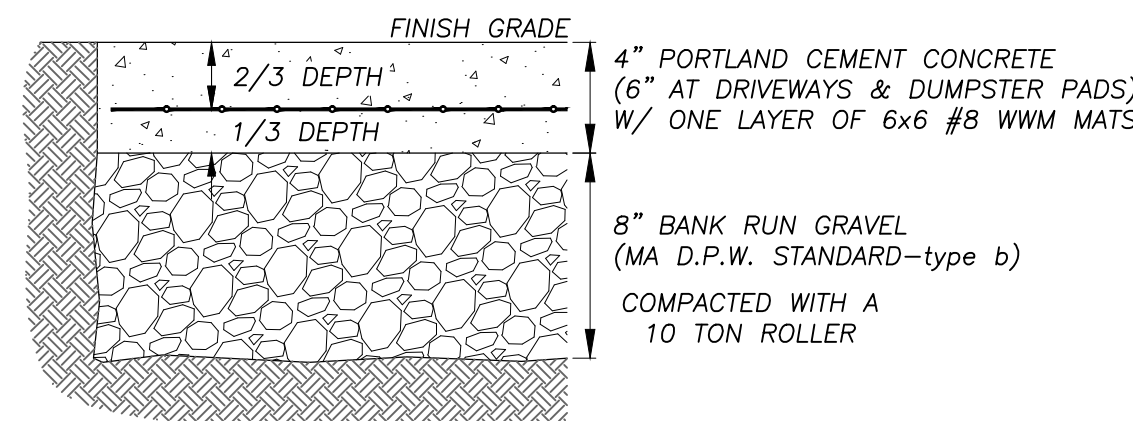
REV.

D-4

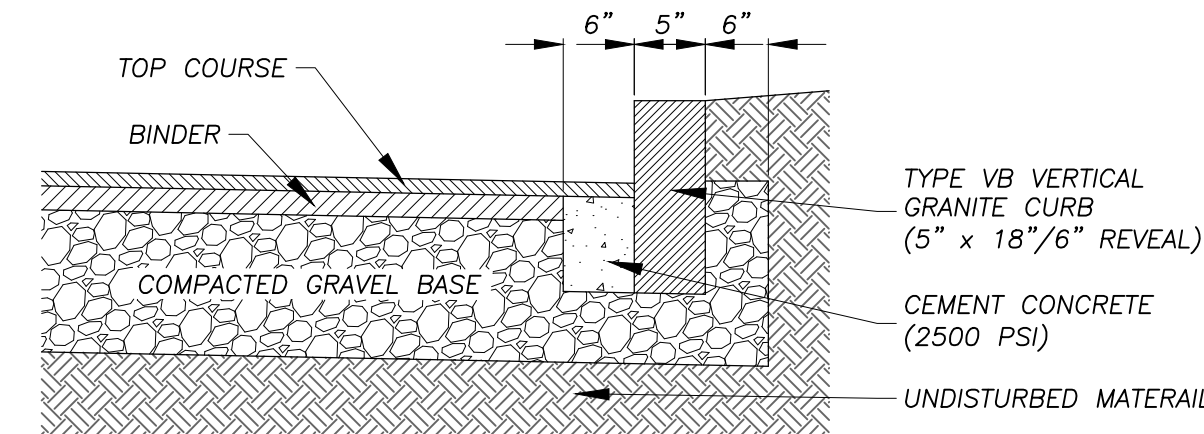
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BITUMINOUS CONCRETE BERM (CAPE COD)
NO SCALE



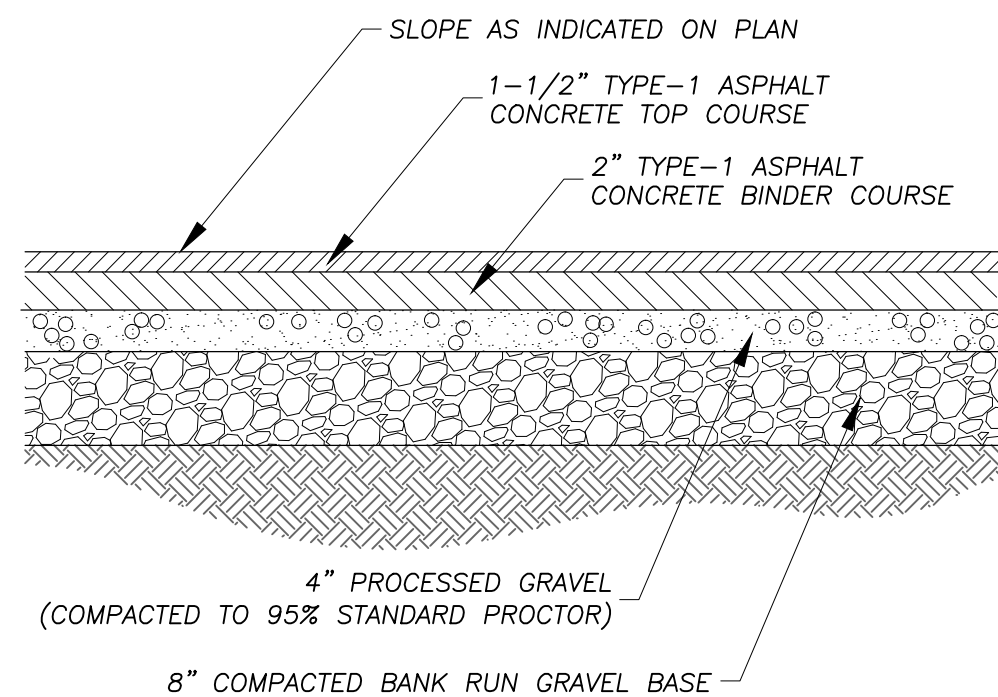
REINFORCED CONCRETE SECTION
NO SCALE



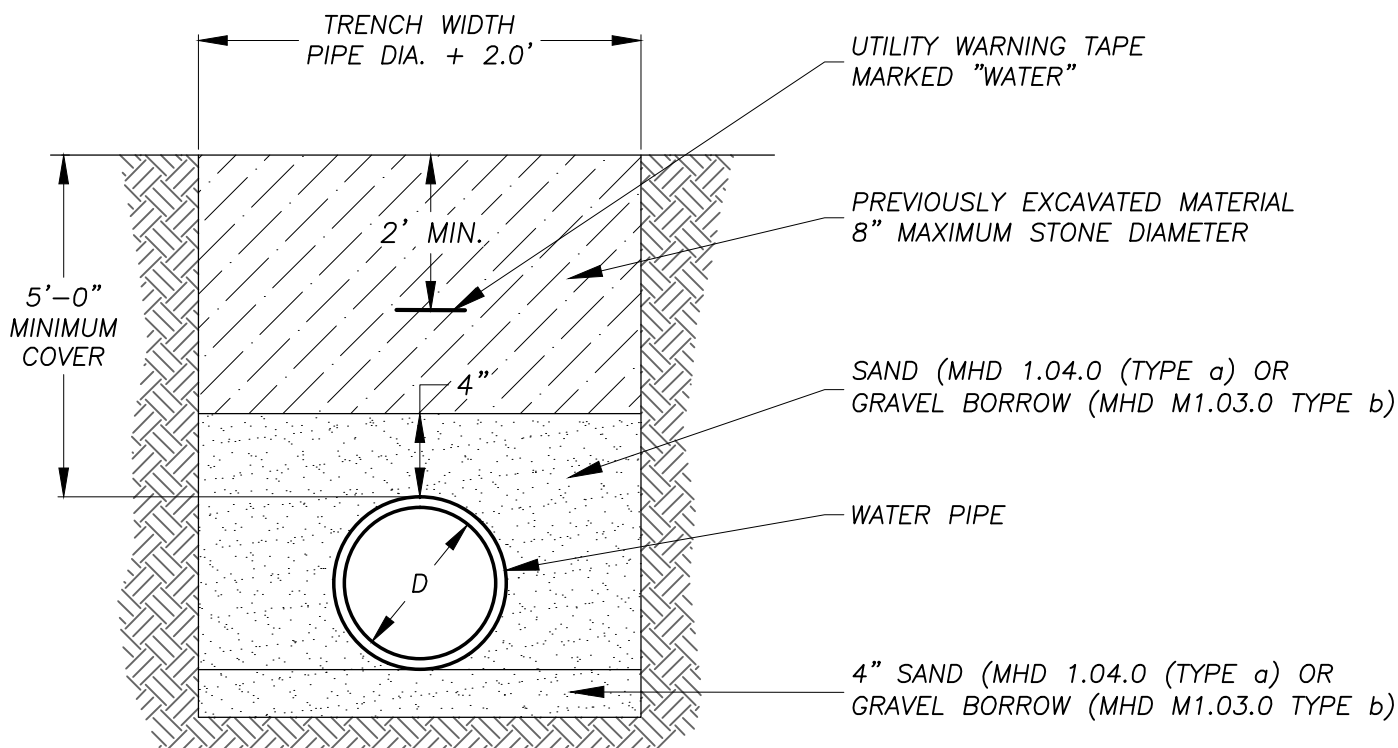
PROCEDURE DESCRIBED HEREIN IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER
BASE AND/OR BINDER COURSE ARE IN PLACE. OTHERWISE CEMENT CONCRETE WILL BE
ELIMINATED AND GRAVEL WILL BE BROUGHT UP TO THE BOTTOM OF THE BASE COURSE.
FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.

- NOTES:
- CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE,
AND REPLACE WITH CEMENT CONCRETE.
 - ACCEPTABLE CEMENT CONCRETE IS ANY CLASS UNDER SECTION M4 OF THE
1988 MHD STANDARD SPECIFICATIONS; ALL TEST REQUIREMENTS ARE WAIVED.
HMA IS NOT AN ACCEPTABLE SUBSTITUTE.
 - WHEN SET ON RADII, THE CURBING SHALL BE CUT WITH THE REQUIRED
RADIUS OF CURVATURE.

VERTICAL GRANITE CURB
NO SCALE

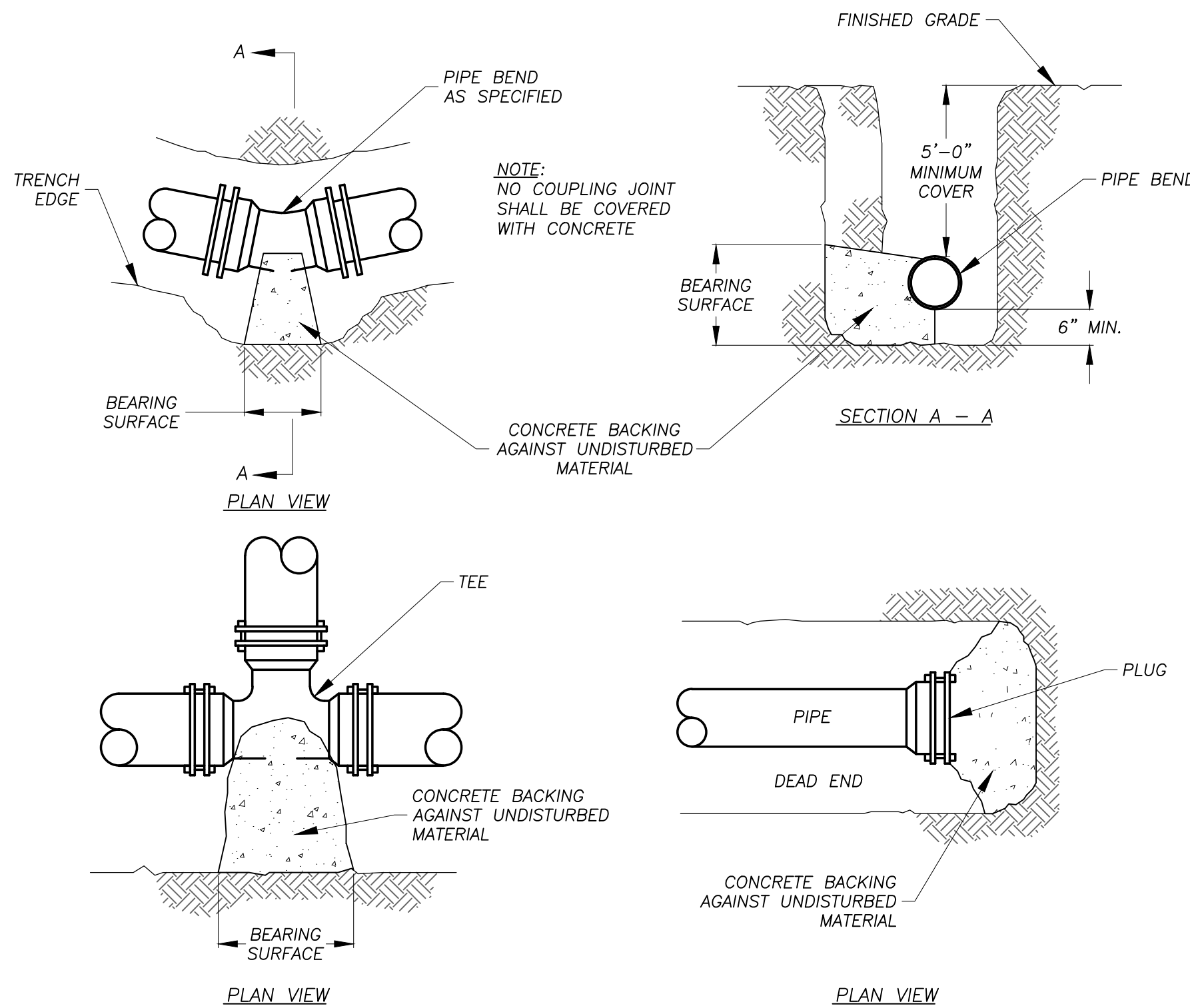


BITUMINOUS CONCRETE PAVING DETAIL
NO SCALE

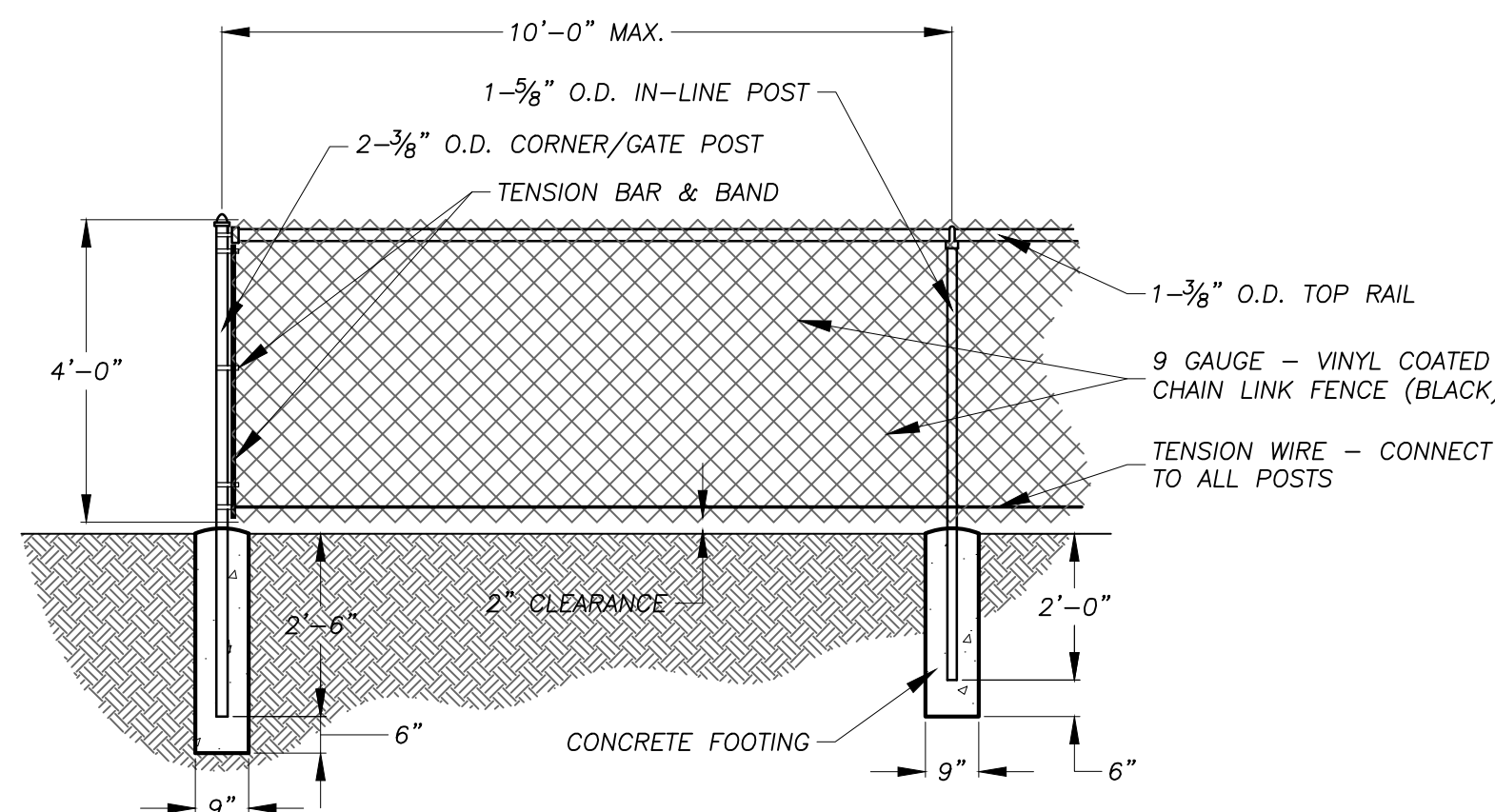


- NOTES:
- COMPACT ALL BACKFILL MATERIAL WITH VIBRATORY PLATE
EQUIPMENT (MINIMUM TWO PASSES) TO A MINIMUM DENSITY
OF 95% OF THE STANDARD PROCTOR DENSITY AS DETERMINED
BY ASTM D698
 - PLACE BACKFILL MATERIALS IN MAXIMUM ONE FOOT LIFTS

TYPICAL WATER MAIN TRENCH SECTION
NO SCALE



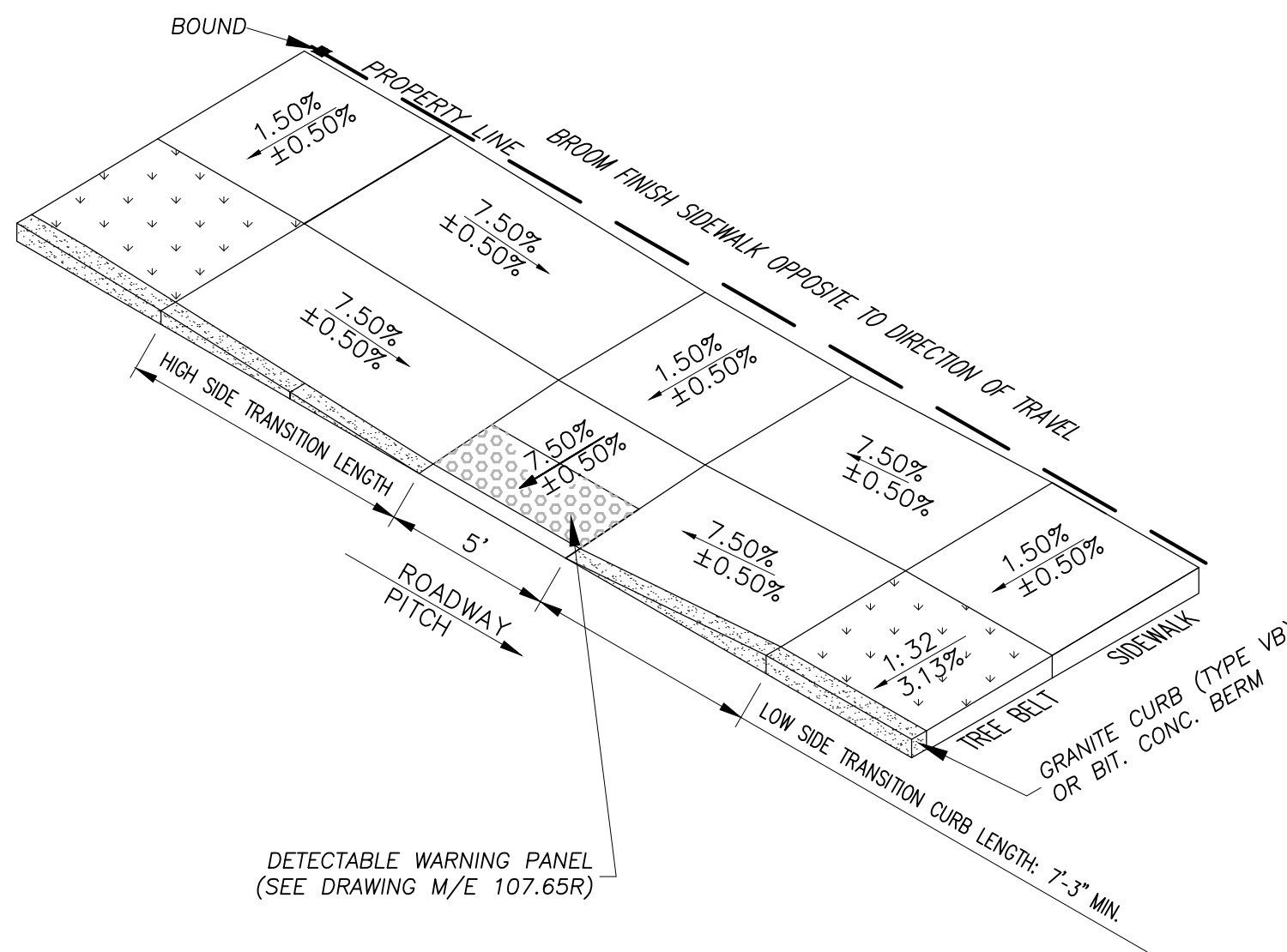
HORIZONTAL THRUST BLOCK DETAILS
NO SCALE



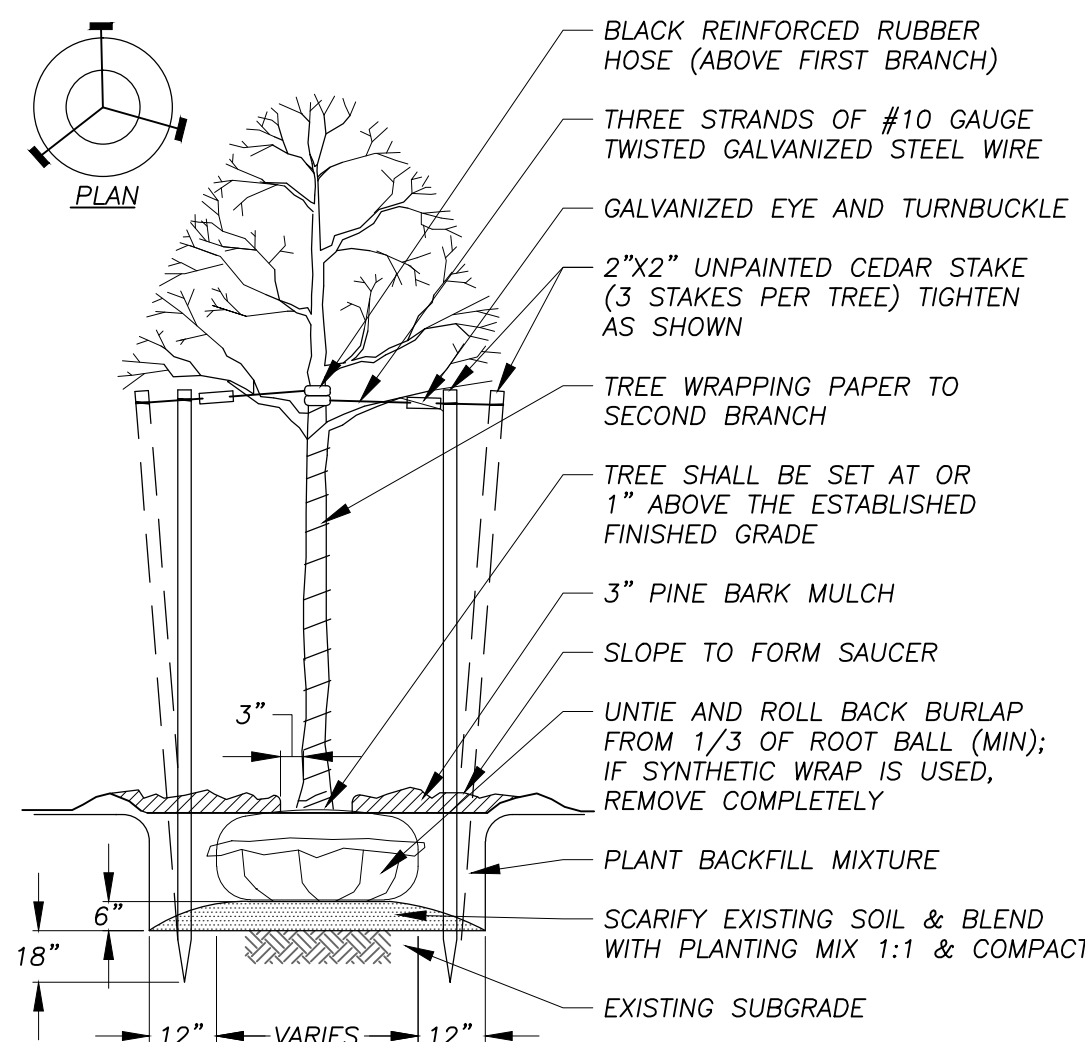
CHAIN-LINK FENCE DETAIL
NO SCALE

NOTES:

- ALL SIDEWALK SLOPES ARE MAXIMUMS, TREE BELT SLOPE IS TO BE MAINTAINED TO THE
BEST EXTENT PRACTICABLE.
- ALL SIDEWALKS ARE TO BE CONSTRUCTED TO THE SAME SPECIFICATION FOUND IN MHD
SUPPLEMENTAL SPECIFICATIONS TO THE 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS
AND BRIDGES, ENGLISH UNITS, JUNE 6, 2008 SECTIONS 701.00 TO 701.61 INCLUSIVE, AS
AMENDED - UNLESS OTHERWISE SPECIFIED.
- ALL SIDEWALKS ARE TO BE 4000 PSI (28 DAY) PORTLAND CEMENT CONCRETE, 6%±1% AIR
ENTRAINED.
- CURBING TO BE VERTICAL GRANITE CURB -OR- CAST IN PLACE PORTLAND CEMENT
CONCRETE IF SUBMITTED TO AND APPROVED BY DPW. SCORE LINES @ 5'-0" INTERVALS
- WHEN THE SIDEWALK IS INSTALLED ON A CURVE, THE 5'-0" SCORE LINE INTERVAL IS
MEASURED ON ALONG THE INSIDE THE CURVE.
- TOOL ALL JOINTS AND EDGES.
- SIDEWALK IS TO BE POURED IN ALTERNATING 20' LENGTHS TO ACCOUNT FOR PANEL
CONTRACTION DURING DRYING.
- INSTALL 1/2" THICK PREFORMED EXPANSION JOINT FILLER (M.9.14.0) AT 20' INTERVALS
- BROOM FINISH SIDEWALK OPPOSITE TO THE DIRECTION OF TRAVEL
- SIDEWALK IS REQUIRED TO BE COVERED WITH PLASTIC AND KEPT MOIST FOR MINIMUM OF
72 HOURS AFTER IT HAS SET-UP.
- DETECTABLE WARNING PANEL ARE TO COMPLY WITH ADA 4.29.2
- DETECTABLE WARNING PANEL TO BE CAST IN PLACE DETECTABLE WARNING PANEL, 24"x60",
FEDERAL YELLOW, ITEM#: 2460DPADZY, MFD. BY: ADA SOLUTIONS INC., 1 SURVEY CIRCLE,
2ND FLR, N. BILLERICA, MA 01862, WWW.ADATILE.COM -OR- APPROVED EQUAL.
- SIDEWALKS ARE TO BE INSTALLED THROUGH DRIVEWAYS. SIDEWALK FINISH IS TO BE BROOM
FINISHED, NO ALTERNATE FINISH IS ALLOWED I.E. STAMPED, EPOXY FINISHED, ETC.... THE
1.50% (±0.50%) CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.



SIDEWALK CURB CUT
NO SCALE



TREE PLANTING DETAIL
NO SCALE

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